

AGENDA



PLANNING AND ZONING COMMISSION WORK SESSION MEETING
CITY HALL, 385 SOUTH GOLIAD STREET, ROCKWALL, TEXAS
JANUARY 28, 2025 IN THE CITY COUNCIL CHAMBERS AT 6:00 PM

NOTES: [1] ADDITIONAL CASE INFORMATION CAN BE FOUND AT [HTTPS://SITES.GOOGLE.COM/SITE/ROCKWALLPLANNING/DEVELOPMENT/DEVELOPMENT-CASES](https://sites.google.com/site/rockwallplanning/development/development-cases), AND [2] TO PROVIDE INPUT ON A ZONING OR SPECIFIC USE PERMIT CASE PLEASE [CLICK HERE](#) OR CLICK ON THE LINK ABOVE AND USE THE ZONING AND SPECIFIC USE PERMIT INPUT FORM ON THE CITY'S WEBSITE.

(I) CALL TO ORDER

(II) OPEN FORUM

This is a time for anyone to address the Planning and Zoning Commission on any topic that is not already listed on the agenda for a public hearing. Per the policies of the City of Rockwall, public comments are limited to three (3) minutes out of respect for the time of other citizens. On topics raised during the OPEN FORUM, please know that the Planning and Zoning Commission is not permitted to respond to your comments during the meeting per the Texas Open Meetings Act.

(III) CONSENT AGENDA

These agenda items are administrative in nature or include cases that meet all of the technical requirements stipulated by the Unified Development Code (UDC) and Chapter 38, Subdivisions, of the Municipal Code of Ordinances, and do not involve discretionary approvals.

(1) **P2025-001 (RYAN MILLER)**

Consider a request by the City of Rockwall for the approval of a Replat for Lot 12, Block A, The Meadows Addition being a 0.306-acre tract of land identified as the Greenbelt & Utility Easement, Block A, Meadows Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 17 (PD-17), and generally located at the terminus of Hail Drive and take any action necessary.

(2) **P2025-002 (RYAN MILLER)**

Consider a request by the City of Rockwall for the approval of a Final Plat for Lots 1-4, Block A, Fox-Harris Addition being a 1.124-acre tract of land identified as Lots 1 & 2, Block A, Fox Addition; Lot 3 of the Richard Harris No. 3 Addition; and Lot B, Block 48A, B. F. Boydston Addition, City of Rockwall, Rockwall County, Texas, zoned Single-Family 7 (SF-7) District, addressed as 205 & 209 S. Clark Street and 206 & 210 Wade Drive, and take any action necessary.

(IV) ACTION ITEMS

These items are not advertised public hearings and deal with discretionary approvals for the Planning and Zoning Commission related to variances and special exceptions to the technical requirements of the Unified Development Code (UDC) or Chapter 38, Subdivisions, of the Municipal Code of Ordinances.

(3) **SP2025-001 (BETHANY ROSS)**

Discuss and consider a request by Brian Baca of ADV Rockwall John King Property Owner, LLC for the approval of an Amended Site Plan for a Mini-Warehouse Facility on a 3.682-acre parcel of land identified as Lot 1, Block A, Cambridge Estates Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 10 (PD-10) for Commercial (C) District land uses, situated within the SH-205 By-Pass Overlay (SH-205 BY-OV) District and the SH-276 Overlay (SH-276 OV) District, addressed as 1689 & 1705 John King Boulevard and 1711 SH-276, and take any action necessary.

(V) DISCUSSION ITEMS

These items are for discussion between staff and the Planning and Zoning Commission and relate to administrative information and/or cases that will come forward for action or public hearing at a future Planning and Zoning Commission meeting. Public comment on these cases can take place when these items are considered for action by the Planning and Zoning Commission. The anticipated Planning and Zoning Commission public hearing and/or action date for the following cases is February 11, 2025.

(4) **Z2025-001 (HENRY LEE)**

Hold a public hearing to discuss and consider a request by Tyler Adams of Greenlight Studio on behalf of Matt Zahm of ZAPA Investments, LLC for the approval of a PD Development Plan for eight (8) Townhomes on a 0.87-acre parcel of land identified as Lot 3, Block A, Harbor Hills Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 32 (PD-32), situated within the Interior Subdistrict and the Residential Subdistrict, generally located on the northeast side of Glen Hill Way, northwest of the intersection of Glen Hill Way and Ridge Road [FM-740], and take any action necessary.

(5) **Z2025-002 (ANGELICA GUEVARA)**

Hold a public hearing to discuss and consider a request by Lee Wickland of Wickland's Sweet Connection on behalf of Windy Busher of Revive for the approval of a Specific Use Permit (SUP) for a *General Retail Store* and *Limited Service Restaurant* on a 0.1617-acre parcel of land identified as Lot 1, Block 1, Henry Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 50 (PD-50) for Residential Office (RO) District land uses, situated within the North Goliad Corridor Overlay (NGC OV) District, addressed as 907 N. Goliad Street, and take any action necessary.

(6) **Z2025-003 (BETHANY ROSS)**

Hold a public hearing to discuss and consider a request by Trenton Austin of GT Plumbing Services, LLC on behalf Tim Connolly of Connolly Squared, LLC for the approval of a Zoning Change to amend Planned Development District 46 (PD-46) [*Ordinance No. 21-32*] being a 47.37-acre tract of land situated within the J. A. Ramsey Survey, Abstract No. 186, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 46 (PD-46) for Commercial (C) District land uses, situated within the SH-276 Overlay (SH-276 OV) District, generally located at the northeast corner of Corporate Crossing and SH-276, and take any action necessary.

(7) Director's Report of post City Council meeting outcomes for development cases **(RYAN MILLER)**.

- P2024-042: Preliminary Plat for the Southside Hills Subdivision **(APPROVED)**
- P2024-043: Master Plat for the Southside Hills Subdivision **(APPROVED)**
- Z2024-062: Amendment to Planned Development District 50 (PD-50) **(1ST READING; APPROVED)**
- Z2024-064: Specific Use Permit (SUP) for *Residential Infill in an Established Subdivision* at 178 Lynne Drive **(1ST READING; APPROVED)**

(VI) ADJOURNMENT

The City of Rockwall Planning and Zoning Commission reserves the right to adjourn into executive session at any time to discuss any matters listed on the agenda above, as authorized by Texas Local Government Code §55.071 (Consultation with City Attorney) or any other exception allowed under Chapter 551 of the Texas Local Government Code.

This facility is wheelchair accessible and accessible parking spaces are available. Request for accommodations or interpretive services must be made 48 hours prior to this meeting. Please contact the City Secretary's Office at (972) 772-6406 for further information.

I, Melanie Zavala, Planning and Zoning Coordinator for the City of Rockwall, Texas, do hereby certify that this Agenda was posted at City Hall, in a place readily accessible to the general public at all times, on January 24, 2025 at 5:00 PM, and remained so posted for at least 72 continuous hours preceding the scheduled time of said meeting.



CITY OF ROCKWALL

PLANNING AND ZONING COMMISSION CASE MEMO

PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM

TO: Planning and Zoning Commission

DATE: January 28, 2025

APPLICANT: Ryan Miller; *City of Rockwall*

CASE NUMBER: P2025-001; *Replat for Lot 12, Block A, The Meadows Addition*

SUMMARY

Consider a request by the City of Rockwall for the approval of a Replat for Lot 12, Block A, The Meadows Addition being a 0.306-acre tract of land identified as the Greenbelt & Utility Easement, Block A, Meadows Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 17 (PD-17), and generally located at the terminus of Hail Drive and take any action necessary.

PLAT INFORMATION

- ☑ Purpose. The City of Rockwall is requesting the approval of a Replat of a 0.306-acre parcel of land (*i.e. Greenbelt & Utility Easement, Block A, Meadows Addition*) for the purpose of abandoning a public right-of-way that extends from the terminus of Hail Drive to the rear yard of 153 Southwood Drive and incorporating the abandoned area into the adjacent property.
- ☑ Background. On February 5, 2024, the City Council approved a motion directing staff to proceed with a Right-of-Way Abandonment Program that would abandon certain unimproved rights-of-way in the City of Rockwall, deeding these lands to the adjacent property owners at no cost. The basis of this decision was in accordance with Subsection 311.007, Closing of Street or Alley by Home-Rule Municipality, of Chapter 311, General Provisions Relating to Municipal Streets, of the Texas Transportation Code, which grants a home-rule municipality the power to vacate, abandon, or close a street or alleyway; and, in accordance with Subsection 272.001(b) of the Texas Local Government Code, which provides that land -- *including streets or alleys* -- owned in fee or used by easement by a political subdivision of the State, may be conveyed, sold or exchanged for less than fair market value with one (1) or more of the abutting property owners who owns the underlying fee. The right-of-way for Hail Drive was dedicated to the City of Rockwall in 1986 with The Meadows subdivision plat, and -- *at the time of dedication* -- the property to the south of Hail Drive was vacant. As part of the approval of this subdivision plat, the City required that Hail Drive extend to the vacant property to provide future access; however, when Lynden Park Estates, Phase 1A (*i.e. the property southeast of Hail Drive*) was established on June 10, 1997, no access was provided to the existing Hail Drive, and Hail Drive currently dead ends into the rear yard of the residential property at 153 Southwood Drive

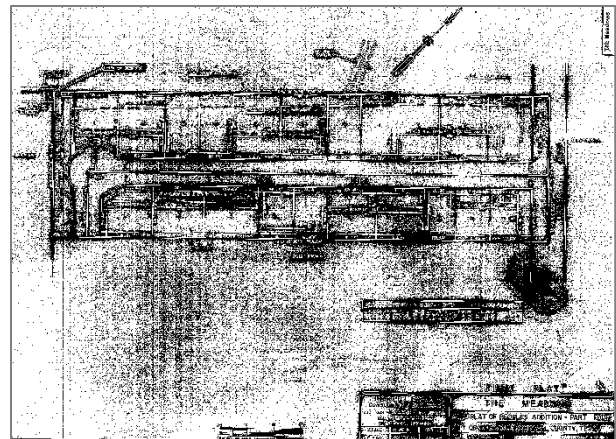


FIGURE 1. THE MEADOWS SUBDIVISION PLAT THAT WAS ADOPTED IN 1986



FIGURE 2. 2023 AERIAL IMAGE SHOWING THE IMPROVED RIGHT-OF-WAY TERMINATING INTO THE REAR YARD OF 153 SOUTHWOOD DRIVE

(see Figure 2). Since the access was never established this right-of-way is not necessary for the function of the Rockwall Housing Development Corporation or the adjacent residential subdivision. In accordance with the City Council's direction, staff began the process of abandoning this right-of-way on May 29, 2024 by sending the Rockwall Housing Development Corporation a *Letter of Intent* (see the attached *Letters of Intent*). Staff received a signed letter of intent from Dennis R. Janssen on July 19, 2024. Once this letter of intent was received, staff engaged with *Teague, Nall and Perkins, Inc.* to prepare a subdivision plat for the lot entitled *Greenbelt & Utility Easement, Block A, Meadows Addition* on The Meadows subdivision plat and the abandoned right-of-way.

- ☑ ***Public Hearing.*** In accordance with Subsection 272.001(b) of the Texas Local Government Code, the City Council will be required to hold a public hearing on February 3, 2025. In addition, staff advertised the public hearings in the Rockwall Herald Banner in the manner prescribed by Subsection 272.001(a).
- ☑ ***Conformance to the Subdivision Ordinance.*** The City's surveyor has completed the majority of the technical revisions requested by staff, and this plat -- *conforming to the requirements for plats as stipulated by the Chapter 38, Subdivisions, of the Municipal Code of Ordinances* -- is recommended for conditional approval pending the completion of final technical modifications, submittal requirements, and the execution of the attached ordinance and quitclaim deed. With the exception of the items listed in the *Conditions of Approval* section of this case memo, this plat is in substantial compliance with the requirements of the Subdivision Ordinance in the Municipal Code of Ordinances.
- ☑ ***Conditional Approval.*** Conditional approval of this Replat by the City Council shall constitute approval subject to the conditions stipulated in the *Conditions of Approval* section below.

CONDITIONS OF APPROVAL

If the Planning and Zoning Commission chooses to recommend approval of the Replat for *Lot 12, Block A, The Meadows Addition*, staff would propose the following conditions of approval:

- (1) All technical comments from the Engineering, Planning and Fire Departments shall be addressed prior to the filing of this Replat; and,
- (2) The Replat shall not be filed until after the second reading of the ordinance abandoning the right-of-way.
- (3) Any construction resulting from the approval of this Replat shall conform to the requirements set forth by the Unified Development Code (UDC), the International Building Code (IBC), the Rockwall Municipal Code of Ordinances, city adopted engineering and fire codes and with all other applicable regulatory requirements administered and/or enforced by the state and federal government.

PROJECT COMMENTS



CITY OF ROCKWALL
385 S. GOLIAD STREET
ROCKWALL, TEXAS 75087
PHONE: (972) 771-7700

DATE: 1/15/2025

PROJECT NUMBER: P2025-001
PROJECT NAME: Final Plat for Lot 12, Block A, The Meadows
SITE ADDRESS/LOCATIONS: HAIL DR

CASE CAPTION: Consider a request by the City of Rockwall for the approval of a Replat for Lot 12, Block A, The Meadows Addition being a 0.306-acre tract of land identified as the Greenbelt & Utility Easement, Block A, Meadows Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 17 (PD-17), and generally located at the terminus of Hail Drive and take any action necessary.

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
PLANNING	Angelica Guevara	01/15/2025	Approved w/ Comments

01/15/2025: P2025-001: Replat for Lot 12, Block A, The Meadows Addition

Please address the following comments (M= Mandatory Comments; I = Informational Comments)

I.1 This is a request for the approval of a Replat for Lot 12, Block A, The Meadows Addition being a 0.306-acre tract of land identified as the Greenbelt & Utility Easement, Block A, Meadows Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 17 (PD-17), and generally located at the terminus of Hail Drive.

I.2 For questions or comments concerning this case please contact Angelica Guevara in the Planning Department at (972) 772-6438 or email aguevara@rockwall.com.

M.3 For reference, include the case number (P2025-001) in the lower right-hand corner of all pages on future submittals.

M.4 Please correct the Title Block to the following:

FINAL PLAT
LOT 12, BLOCK A
THE MEADOWS ADDITION
BEING A REPLAT OF
THE GREENBELT & UTILITY EASEMENT,
BLOCK A, AND A PORTION OF HAIL DRIVE,
THE MEADOWS ADDITION
CONTAINING
A TOTAL OF
0.306-ACRES OR 13,351 SF
SITUATED IN THE
JAMES SMITH SURVEY, ABSTRACT NO. 200 & THE
E.P.G. CHISUM SURVEY, ABSTRACT NO. 64
CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS

M.5 Please provide and label two (2) state plane coordinates on the plat. (Section 38-7, Subdivision and Platting Procedures, of the Municipal Code of Ordinances)

M.6 Please label the building line setback adjacent to the street (Hail Drive) on the plat. (Section 38-7, Subdivision and Platting Procedures, of the Municipal Code of Ordinances)

M.7 Please label all existing and proposed easements relative to the site and include the type, width, and purpose. (Section 38-7, Subdivision and Platting Procedures, of the Municipal Code of Ordinances)

M.8 Provide the correct format for the following General Notes (Section 38-7, Subdivision and Platting Procedures, of the Municipal Code of Ordinances):

(1) Subdivider's Statement. Selling a portion of this addition by metes and bounds is unlawful and a violation of the Subdivision Ordinance of the City of Rockwall and Chapter 212, Municipal Regulation of Subdivisions and Property Development, of the Texas Local Government Code, and shall be subject to the City of Rockwall withholding utilities and building permits.

(2) Public Improvement Statement. It shall be the policy of the City of Rockwall to withhold issuing buildings permits until all streets, water, sewer and storm drainage systems have been accepted by the City. The approval of a subdivision plat by the City of Rockwall does not constitute any representation, assurance or guarantee that any building within such subdivision plat shall be approved, authorized, or permit issued, nor shall such approval constitute any representation, assurance or guarantee by the City of Rockwall of the adequacy and availability for water and sanitary sewer for personal use and fire protection within such subdivision plat, as required under the Subdivision Ordinance of the City of Rockwall.

(3) Drainage and Detention Easements. The property owner shall be responsible for maintaining, repairing, and replacing and shall bear sole liability of all systems within the drainage and detention easements.

(4) Fire Lanes. All Fire Lanes will be constructed, maintained, repaired and replaced by the property owner. Fire Lanes shall be constructed in accordance with the approved Civil Engineering Plans for both on-site and off-site Fire Lane improvements.

M.9 Please provide the purpose of the plat under the General Notes section of the plat. (Section 38-7, Subdivision and Platting Procedures, of the Municipal Code of Ordinances).

M.10 Please update the Owner's Certificate and Standard Plat Wording to be in conformance with the subdivision ordinance (i.e. Section 38-7(1)(A)(1)). (Section 38-7, Subdivision and Platting Procedures, of the Municipal Code of Ordinances).

M.11 Please provide the following Surveyor's/Registered Engineer Signature Block. (Section 38-7, Subdivision and Platting Procedures, of the Municipal Code of Ordinances)

NOW, THEREFORE KNOW ALL MEN BY THESE PRESENTS:

THAT I, [SURVEYOR'S NAME], do hereby certify that I prepared this plat from an actual and accurate survey of the land, and that the corner monuments shown thereon were properly placed under my personal supervision.

SURVEYOR SIGNATURE [OR] REGISTERED ENGINEER REGISTERED PUBLIC SURVEYOR NO. [OR]
PROFESSIONAL ENGINEER NO.

M.12 Please provide the following Signature Block. (Section 38-7, Subdivision and Platting Procedures, of the Municipal Code of Ordinances)

APPROVED: I hereby certify that the above and forgoing subdivision plat -- being an addition to the City of Rockwall, Texas -- was approved by the City Council of the City of Rockwall, Texas on the [DAY] day of [MONTH], [YEAR].

MAYOR OF THE CITY OF ROCKWALL
PLANNING AND ZONING COMMISSION CHAIRMAN

CITY SECRETARY

CITY ENGINEER

I.13 Staff has identified the aforementioned items necessary to continue the submittal process. Please make all revisions and corrections and return to staff for a subsequent review prior to approval.

I.14 All meetings will be held in the Rockwall City Council Chambers at 385 S. Goliad Street at 6:00 PM. The meeting schedule for this case is as follows:

Planning and Zoning Meeting: January 28, 2025

City Council Meeting: February 3, 2025

I.15 Please note that a representative is required to be present for the meeting to answer any questions the Planning and Zoning Commission may have regarding your request. Once the Replat has been approved by the Planning and Zoning Commission and City Council, the case will be considered to be conditionally approved pending all of staff's comments from all City Departments and any applicable conditions of approval contained in staff's case memo are addressed prior to the subdivision plat being filed.

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
ENGINEERING	Angelica Guevara	01/08/2025	Needs Review

No Comments

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
BUILDING	Angelica Guevara	01/08/2025	Approved

No Comments

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
FIRE	Angelica Guevara	01/08/2025	Approved

01/08/2025: No Comments.

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
GIS	Lance Singleton	01/08/2025	Approved

No Comments

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
POLICE	Chris Cleveland	01/08/2025	Approved

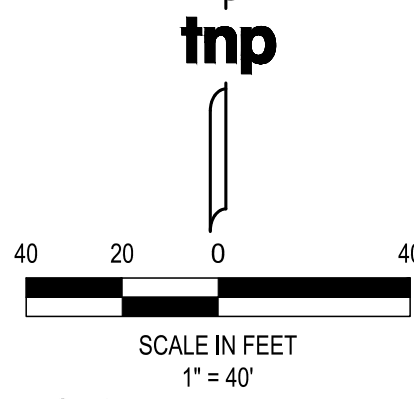
No Comments

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
PARKS	Angelica Guevara	01/08/2025	Approved

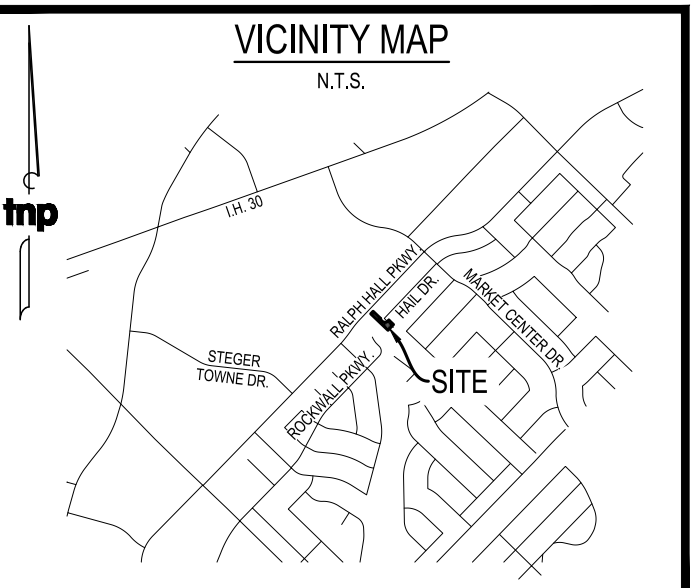
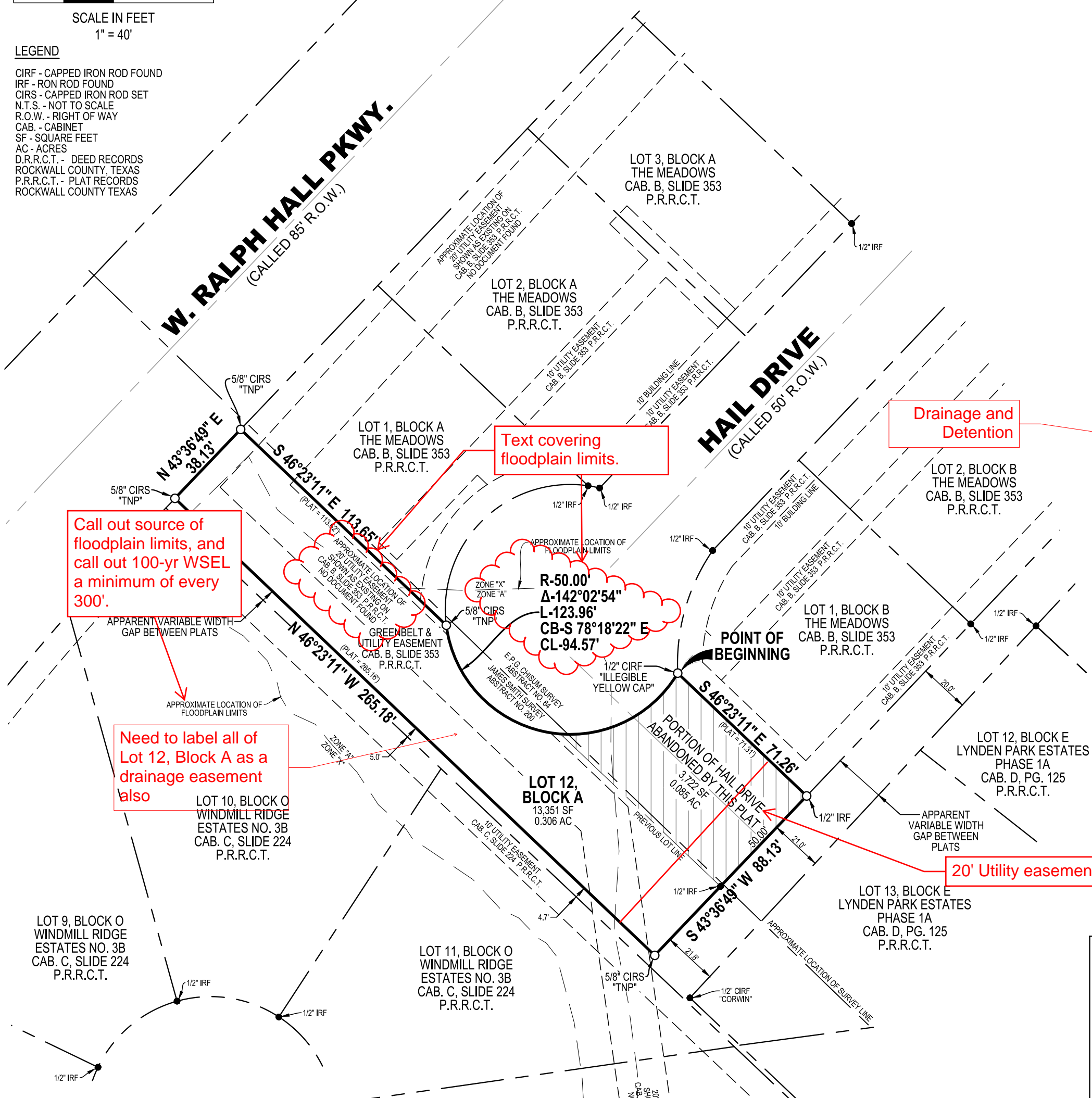
01/08/2025: No Comments.

NOTES:

- 1. BEARINGS ARE REFERENCED TO GRID NORTH OF THE TEXAS COORDINATE SYSTEM OF 1983 (NORTH CENTRAL ZONE 4202; NAD83(2011) EPOCH 2010) AS DERIVED LOCALLY FROM ALLTERRA CENTRAL RTKNET CONTINUOUSLY OPERATING REFERENCE STATIONS (CORS) VIA REAL TIME KINEMATIC (RTK) SURVEY METHODS. ALL DISTANCES SHOWN ARE SURFACE DISTANCES USING A COMBINED SCALE FACTOR OF 1.000146135.
2. BY GRAPHIC SCALE ONLY THE SUBJECT PROPERTY APPEARS TO LIE WITHIN ZONE "X" (AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN) AND ZONE "A" (AREA INUNDATED BY THE BASE FLOOD WITH NO BASE FLOOD ELEVATIONS DETERMINED.), ACCORDING TO THE FLOOD INSURANCE RATE MAP (FIRM) NO. 483970040L DATED SEPTEMBER 26, 2008 OF THE NATIONAL INSURANCE RATE MAP PREPARED BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY. THIS STATEMENT SHALL NOT CREATE LIABILITY ON THE PART OF THE SURVEYOR.
3. THE SURVEYOR, AS REQUIRED BY STATE LAW, IS RESPONSIBLE FOR SURVEYING INFORMATION ONLY AND BEARS NO RESPONSIBILITY FOR THE ACCURACY OF THE ENGINEERING DATA ON THIS PLAT.
4. IT SHALL BE THE POLICY OF THE CITY OF ROCKWALL TO WITHHOLD ISSUING BUILDING PERMITS UNTIL ALL STREETS, WATER, SEWER AND STORM DRAINAGE SYSTEMS HAVE BEEN ACCEPTED BY THE CITY. THE APPROVAL OF A PLAT BY THE CITY DOES NOT CONSTITUTE ANY REPRESENTATION, ASSURANCE OR GUARANTEE THAT ANY BUILDING WITHIN SUCH PLAT SHALL BE APPROVED, AUTHORIZED OR PERMIT THEREFOR ISSUED, NOR SHALL SUCH APPROVAL CONSTITUTE ANY REPRESENTATION, ASSURANCE OR GUARANTEE BY THE CITY OF THE ADEQUACY AND AVAILABILITY FOR WATER FOR PERSONAL USE AND FIRE PROTECTION WITHIN SUCH PLAT, AS REQUIRED UNDER ORDINANCE 83-54.



- LEGEND
CIRF - CAPPED IRON ROD FOUND
IRF - IRON ROD FOUND
CIRS - CAPPED IRON ROD SET
N.T.S. - NOT TO SCALE
R.O.W. - RIGHT OF WAY
CAB. - CABINET
SF - SQUARE FEET
AC - ACRES
D.R.R.C.T. - DEED RECORDS ROCKWALL COUNTY, TEXAS
P.R.R.C.T. - PLAT RECORDS ROCKWALL COUNTY TEXAS



OWNERS DEDICATION

NOW, THEREFORE, KNOW ALL MEN BY THESE PRESENTS:

STATE OF TEXAS)
COUNTY OF ROCKWALL)

We, the undersigned owners of the land shown on this plat, and designated herein as LOT 12, BLOCK A, THE MEADOWS to the City of Rockwall, Texas, and whose name is subscribed hereto, hereby dedicate to the use of the public forever all streets, alleys, parks, water courses, drains, easements and public places thereon shown on the purpose and consideration therein expressed. I understand and do hereby reserve the easement strips shown on this plat for the purposes stated and for the mutual use and accommodation of all utilities desiring to use or using same. I also understand the following;

- 1. No buildings shall be constructed or placed upon, over, or across the utility easements as described herein.
2. Any public utility shall have the right to remove and keep removed all or part of any buildings, fences, trees, shrubs, or other growths or improvements which in any way endanger or interfere with construction, maintenance or efficiency of their respective system on any of these easement strips; and any public utility shall at all times have the right of ingress or egress to, from and upon the said easement strips for purpose of construction, reconstruction, inspecting, patrolling, maintaining, and either adding to or removing all or part of their respective system without the necessity of, at any time, procuring the permission of anyone.
3. The City of Rockwall will not be responsible for any claims of any nature resulting from or occasioned by the establishment of grade of streets in the subdivision.
4. The developer and subdivision engineer shall bear total responsibility for storm drain improvements.
5. The developer shall be responsible for the necessary facilities to provide drainage patterns and drainage controls such that properties within the drainage area are not adversely affected by storm drainage from the development.
6. No house dwelling unit, or other structure shall be constructed on any lot in this addition by the owner or any other person until the developer and/or owner has complied with all requirements of the Subdivision Regulations of the City of Rockwall regarding improvements with respect to the entire block on the street or streets on which property abuts, including the actual installation of streets with the required base and paving, curb and gutter, water and sewer, drainage structures, storm structures, storm sewers, and alleys, all according to the specifications of the City of Rockwall; or until an escrow deposit, sufficient to pay for the cost of such improvements, as determined by the city's engineer and/or city administrator, computed on a private commercial rate basis, has been made with the city secretary, accompanied by an agreement signed by the developer and/or owner, authorizing the city to make such improvements at prevailing private commercial rates, or have the same made by a contractor and pay for the same out of the escrow deposit, should the developer and/or owner fail or refuse to install the required improvements within the time stated in such written agreement, but in no case shall the City be obligated to make such improvements itself. Such deposit may be used by the owner and/or developer as progress payments as the work progresses in making such improvements by making certified requisitions to the city secretary, supported by evidence of work done; or until the developer and/or owner files a corporate surety bond with the city secretary in a sum equal to the cost of such improvements for the designated area, guaranteeing the installation thereof within the time stated in the bond, which time shall be fixed by the city council of the City of Rockwall.
7. Drainage/Retention Easements/Facilities shall be owned, operated, maintained and repaired by property owner.

We further acknowledge that the dedications and/or exaction's made herein are proportional to the impact of the Addition upon the public services required in order that the development will comport with the present and future growth needs of the City; we, our successors and assigns hereby waive any claim, damage, or cause of action that we may have as a result of the dedication of exactions made herein.

THE MEADOWS, LIMITED

Representative:

STATE OF TEXAS)
COUNTY OF ROCKWALL)

Before me, the undersigned authority, on this day personally appeared [Name], known to me to be the person whose name is subscribed to the foregoing instrument, and acknowledged to me that he executed the same for the purpose and consideration therein stated.

Given upon my hand and seal of office this ___ day of ___, 2024.

Notary Public in and for the State of Texas

Commission Expires:

RECOMMENDED FOR FINAL APPROVAL

APPROVED
I hereby certify that the above and

approved by the City Council of the

This approval shall be invalid unless

WITNESS OUR HANDS, this

Mayor, City of Rockwall | City Secretary | City Engineer

GENERAL NOTES [Please add this to any other notes included on the plat.]

- (1) Subdivider's Statement. Selling a portion of this addition by metes and bounds is unlawful and a violation of the Subdivision Ordinance of the City of Rockwall and Chapter 212, Municipal Regulation of Subdivisions and Property Development, of the Texas Local Government Code, and shall be subject to the City of Rockwall withholding utilities and building permits.
(2) Public Improvement Statement. It shall be the policy of the City of Rockwall to withhold issuing buildings permits until all streets, water, sewer and storm drainage systems have been accepted by the City. The approval of a subdivision plat by the City of Rockwall does not constitute any representation, assurance or guarantee that any building within such subdivision plat shall be approved, authorized, or permit issued, nor shall such approval constitute any representation, assurance or guarantee by the City of Rockwall of the adequacy and availability for water and sanitary sewer for personal use and fire protection within such subdivision plat, as required under the Subdivision Ordinance of the City of Rockwall.
(3) Drainage and Detention Easements. The property owner shall be responsible for maintaining, repairing, and replacing and shall bear sole liability of all systems within the drainage and detention easements.
(4) Fire Lanes. All Fire Lanes will be constructed, maintained, repaired and replaced by the property owner. Fire Lanes shall be constructed in accordance with the approved Civil Engineering Plans for both on-site and off-site Fire Lane improvements.
(5) Street Appurtenances. All decorative signage, posts, or lights installed in public right-of-way shall be installed, maintained, repaired, and replaced by the Homeowner's Association (HOA).

OWNERS CERTIFICATE

STATE OF TEXAS)
COUNTY OF ROCKWALL)

WHEREAS, The Meadows, Limited is the owner of a tract of land situated in the James Smith Survey, Abstract Number 200 and the E.P.G. Chisum Survey, Abstract Number 64 in the County of Rockwall, State of Texas, being all of the Greenbelt and Utility Easement, Block A and a portion of Hail Drive, (A called 50 feet wide right-of-way), as shown and dedicated by The Meadows, an addition to the City of Rockwall, Texas according to the Plat recorded in Cabinet B, Slide 353, of the Plat Records of Rockwall County, Texas, and being more particularly described as follows:

BEGINNING at a 1/2 inch iron rod with illegible yellow cap found on the southeasterly line of said Hail Drive, same being the west corner of Lot 1, Block B of said Meadows addition;

THENCE South 46 degrees 23 minutes 11 seconds East along the southeasterly line of said Hail Drive and the southwest line of said Lot 1, Block B, a distance of 71.26 feet (Plat Distance 71.31 feet) to a 1/2 inch iron rod found on the southeast line of said Meadows Addition for the south corner of said Lot 1, Block B;

THENCE South 43 degrees 36 minutes 49 seconds West along the southeast line of said Meadows Addition passing a 1/2 inch iron rod found for the south corner of said Hail Drive, same being the east corner of said Greenbelt and Utility Easement, Block A, at a distance of 50.00 feet and continuing a total distance of 88.13 feet to a 5/8 inch iron rod with cap stamped "TNP" set for the south corner of said Meadows Addition and the south corner of said Greenbelt and Utility Easement, Block A;

THENCE North 46 degrees 23 minutes 11 seconds West along the southwest line of said Meadows Addition, a distance of 265.18 feet (Plat Distance 265.16 feet) to a 5/8 inch iron rod with cap stamped "TNP" set on the southeast line of W. Ralph Hall Parkway (A called 85 feet wide right-of-way) for the west corner of said Meadows Addition, same being the west corner of said Greenbelt and Utility Easement, Block A;

THENCE North 43 degrees 36 minutes 49 seconds East along the southeast line of said W. Ralph Hall Drive, same being the northwest line of said Meadows Addition and the northwest line of said Greenbelt and Utility Easement, Block A, a distance of 38.13 feet to a 5/8 inch iron rod with cap stamped "TNP" set for the north corner of said Greenbelt and Utility Easement, Block A, same being the west corner of Lot 1, Block A of said Meadows Addition;

THENCE South 46 degrees 23 minutes 11 seconds East departing the southeast line of said W. Ralph Hall Drive, and along the northeast line of said Greenbelt and Utility Easement, Block A, same being the southwest line of said Lot 1, Block A, a distance of 113.65 feet (Plat Distance 113.62 feet) to a 5/8 inch iron rod with cap stamped "TNP" set on the southwesterly line of said Hail Drive for the south corner of said Lot 1, Block A, same being a northerly corner of said Greenbelt and Utility Easement, Block A and at the beginning of a curve to the left;

THENCE with said curve to the left along the southwesterly line and the interior of said Hail Drive having a radius of 50.00 feet, a central angle of 142 degrees 02 minutes 54 seconds, an arc length of 123.96 feet, a chord bearing of South 78 degrees 18 minutes 22 seconds East, a distance of 94.57 feet to the POINT OF BEGINNING containing 13,351 square feet, or 0.306 of an acre of land.

SURVEYOR'S CERTIFICATE

NOW, THEREFORE KNOW ALL MEN BY THESE PRESENTS:

THAT I, Brian J. Maddox, do hereby certify that I prepared this plat from an actual and accurate survey of the land, and that the corner monuments shown thereon were properly placed under my personal supervision.

MY HAND AND SEAL OF OFFICE THIS THE ___ DAY OF ___, 2024

THIS DOCUMENT SHALL NOT BE RECORDED UNLESS AND SHALL NOT BE USED OR VIEWED AS A FINAL SURVEY DOCUMENT.

BRIAN J. MADDOX, R.P.L.S. NO. 5430

PRELIMINARY
THIS DOCUMENT SHALL NOT BE RECORDED FOR ANY PURPOSE AND SHALL NOT BE USED OR VIEWED OR RELIED UPON AS A FINAL SURVEY DOCUMENT

FINAL PLAT
THE MEADOWS
LOT 12, BLOCK A

BEING A REPLAT OF THE GREENBELT & UTILITY EASEMENT, BLOCK A, AND A PORTION OF HAIL DRIVE THE MEADOWS CONTAINING A TOTAL OF 0.306 ACRES

AND SITUATED IN THE JAMES SMITH SURVEY, ABSTRACT NO. 200 AND THE E.P.G. CHISUM SURVEY, ABSTRACT NO. 64 AN ADDITION TO THE CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS

PROJECT INFORMATION

Project No.: RWL 24372
Date: December 20, 2024
Drawn By: JM
Scale: 1"=40'
SHEET 1 of 1



CASE NO. _____

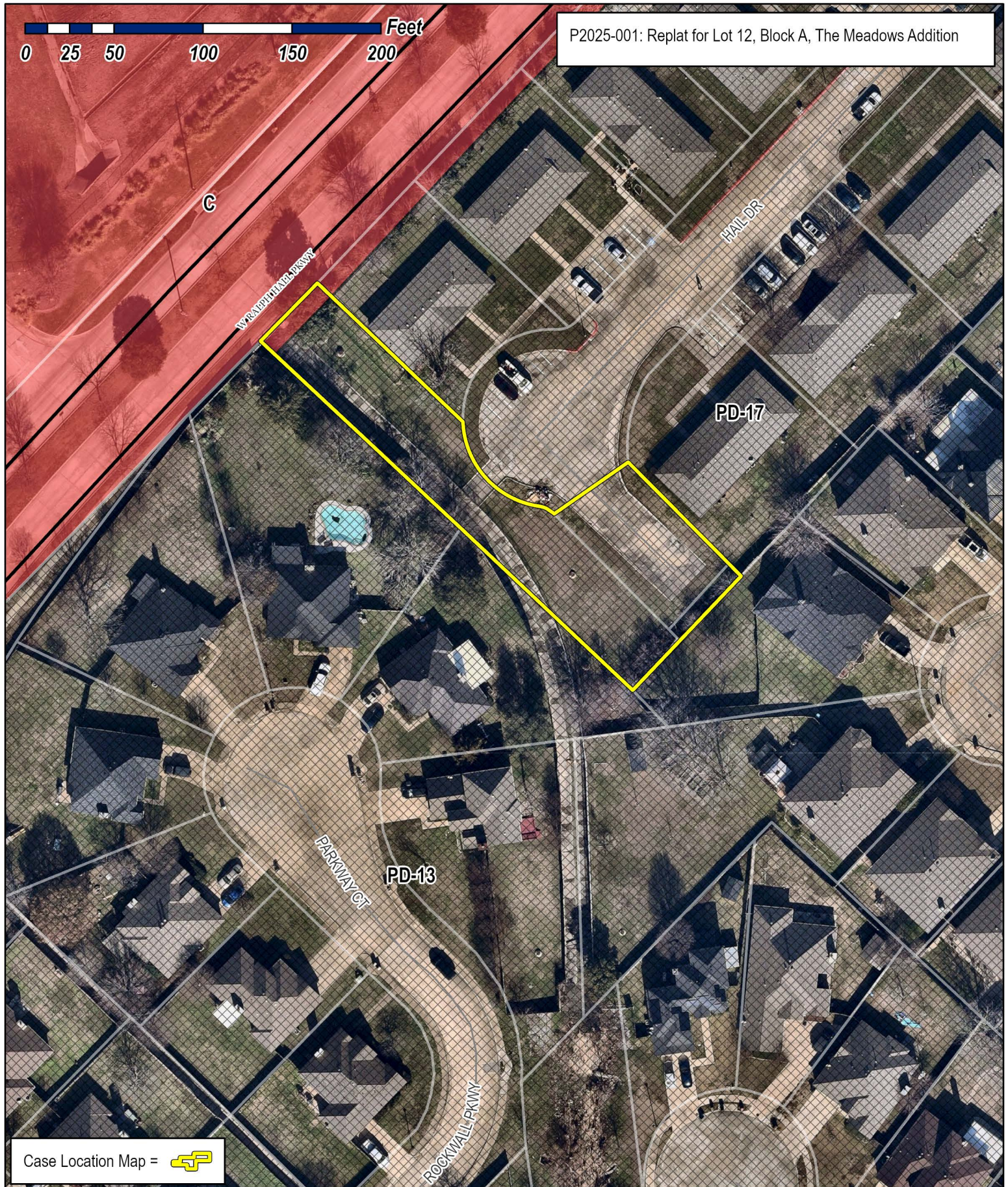
OWNER


THE MEADOWS LIMITED
2255 Ridge Road
Rockwall, Texas 75087

Drawing: C:\Users\bmaddox\AppData\Local\Temp\AcP\Publi... 10904\2024 12 19 RWL 24372 Meadows Final Plat.dwg at Dec 21, 2024 1:25pm by bmaddox



P2025-001: Replat for Lot 12, Block A, The Meadows Addition



Case Location Map = 



City of Rockwall

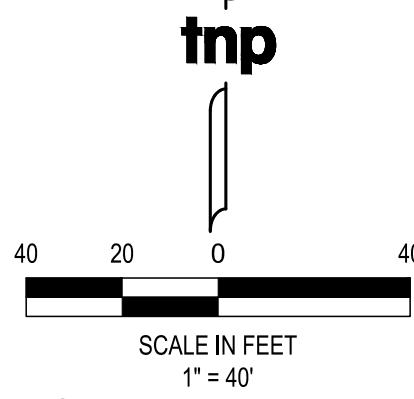
Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087
(P): (972) 771-7745
(W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.

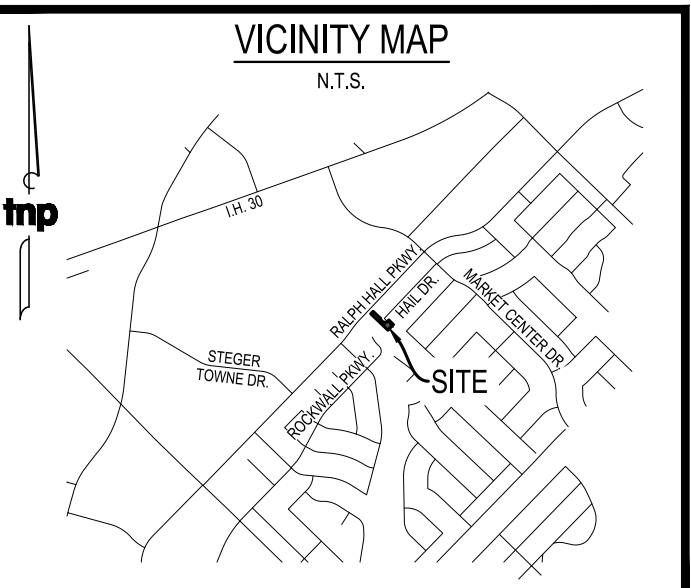
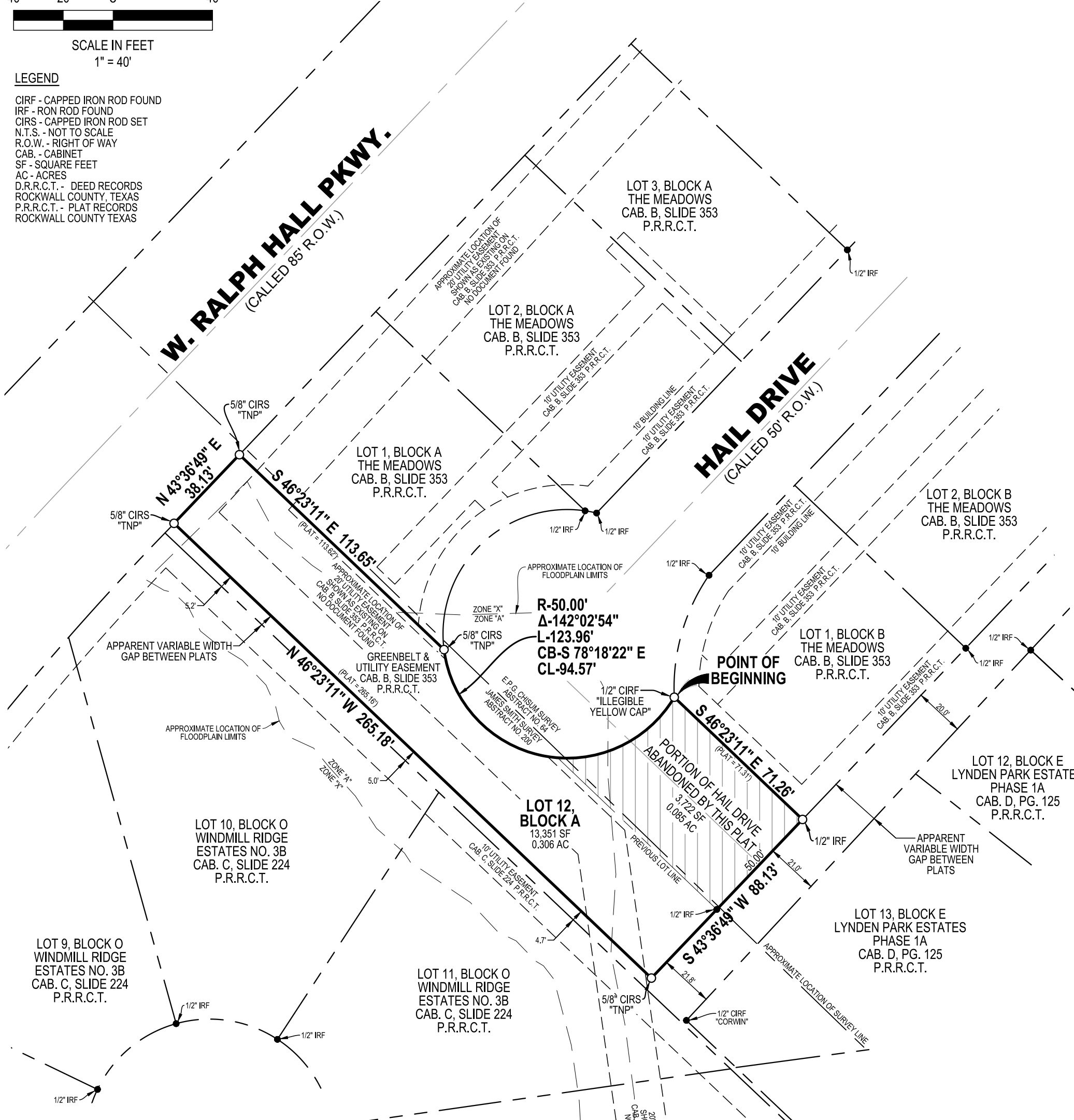


NOTES:

- 1. BEARINGS ARE REFERENCED TO GRID NORTH OF THE TEXAS COORDINATE SYSTEM OF 1983 (NORTH CENTRAL ZONE 4202; NAD83(2011) EPOCH 2010) AS DERIVED LOCALLY FROM ALLTERRA CENTRAL RTKNET CONTINUOUSLY OPERATING REFERENCE STATIONS (CORS) VIA REAL TIME KINEMATIC (RTK) SURVEY METHODS. ALL DISTANCES SHOWN ARE SURFACE DISTANCES USING A COMBINED SCALE FACTOR OF 1.000146135.
2. BY GRAPHIC SCALE ONLY THE SUBJECT PROPERTY APPEARS TO LIE WITHIN ZONE "X" (AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN) AND ZONE "A" (AREA INUNDATED BY THE BASE FLOOD WITH NO BASE FLOOD ELEVATIONS DETERMINED), ACCORDING TO THE FLOOD INSURANCE RATE MAP (FIRM) NO. 483970040L DATED SEPTEMBER 26, 2008 OF THE NATIONAL INSURANCE RATE MAP PREPARED BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY. THIS STATEMENT SHALL NOT CREATE LIABILITY ON THE PART OF THE SURVEYOR.
3. THE SURVEYOR, AS REQUIRED BY STATE LAW, IS RESPONSIBLE FOR SURVEYING INFORMATION ONLY AND BEARS NO RESPONSIBILITY FOR THE ACCURACY OF THE ENGINEERING DATA ON THIS PLAT.
4. IT SHALL BE THE POLICY OF THE CITY OF ROCKWALL TO WITHHOLD ISSUING BUILDING PERMITS UNTIL ALL STREETS, WATER, SEWER AND STORM DRAINAGE SYSTEMS HAVE BEEN ACCEPTED BY THE CITY. THE APPROVAL OF A PLAT BY THE CITY DOES NOT CONSTITUTE ANY REPRESENTATION, ASSURANCE OR GUARANTEE THAT ANY BUILDING WITHIN SUCH PLAT SHALL BE APPROVED, AUTHORIZED OR PERMIT THEREFOR ISSUED, NOR SHALL SUCH APPROVAL CONSTITUTE ANY REPRESENTATION, ASSURANCE OR GUARANTEE BY THE CITY OF THE ADEQUACY AND AVAILABILITY FOR WATER FOR PERSONAL USE AND FIRE PROTECTION WITHIN SUCH PLAT, AS REQUIRED UNDER ORDINANCE 83-54.



LEGEND
CIRF - CAPPED IRON ROD FOUND
IRF - IRON ROD FOUND
CIRS - CAPPED IRON ROD SET
N.T.S. - NOT TO SCALE
R.O.W. - RIGHT OF WAY
CAB. - CABINET
SF - SQUARE FEET
AC - ACRES
D.R.R.C.T. - DEED RECORDS ROCKWALL COUNTY, TEXAS
P.R.R.C.T. - PLAT RECORDS ROCKWALL COUNTY TEXAS



OWNERS DEDICATION

NOW, THEREFORE, KNOW ALL MEN BY THESE PRESENTS:

STATE OF TEXAS)
COUNTY OF ROCKWALL)

We, the undersigned owners of the land shown on this plat, and designated herein as LOT 12, BLOCK A, THE MEADOWS to the City of Rockwall, Texas, and whose name is subscribed hereto, hereby dedicate to the use of the public forever all streets, alleys, parks, water courses, drains, easements and public places thereon shown on the purpose and consideration therein expressed. I understand and do hereby reserve the easement strips shown on this plat for the purposes stated and for the mutual use and accommodation of all utilities desiring to use or using same. I also understand the following;

- 1. No buildings shall be constructed or placed upon, over, or across the utility easements as described herein.
2. Any public utility shall have the right to remove and keep removed all or part of any buildings, fences, trees, shrubs, or other growths or improvements which in any way endanger or interfere with construction, maintenance or efficiency of their respective system on any of these easement strips; and any public utility shall at all times have the right of ingress or egress to, from and upon the said easement strips for purpose of construction, reconstruction, inspecting, patrolling, maintaining, and either adding to or removing all or part of their respective system without the necessity of, at any time, procuring the permission of anyone.
3. The City of Rockwall will not be responsible for any claims of any nature resulting from or occasioned by the establishment of grade of streets in the subdivision.
4. The developer and subdivision engineer shall bear total responsibility for storm drain improvements.
5. The developer shall be responsible for the necessary facilities to provide drainage patterns and drainage controls such that properties within the drainage area are not adversely affected by storm drainage from the development.
6. No house dwelling unit, or other structure shall be constructed on any lot in this addition by the owner or any other person until the developer and/or owner has complied with all requirements of the Subdivision Regulations of the City of Rockwall regarding improvements with respect to the entire block on the street or streets on which property abuts, including the actual installation of streets with the required base and paving, curb and gutter, water and sewer, drainage structures, storm structures, storm sewers, and alleys, all according to the specifications of the City of Rockwall; or until an escrow deposit, sufficient to pay for the cost of such improvements, as determined by the city's engineer and/or city administrator, computed on a private commercial rate basis, has been made with the city secretary, accompanied by an agreement signed by the developer and/or owner, authorizing the city to make such improvements at prevailing private commercial rates, or have the same made by a contractor and pay for the same out of the escrow deposit, should the developer and/or owner fail or refuse to install the required improvements within the time stated in such written agreement, but in no case shall the City be obligated to make such improvements itself. Such deposit may be used by the owner and/or developer as progress payments as the work progresses in making such improvements by making certified requisitions to the city secretary, supported by evidence of work done; or until the developer and/or owner files a corporate surety bond with the city secretary in a sum equal to the cost of such improvements for the designated area, guaranteeing the installation thereof within the time stated in the bond, which time shall be fixed by the city council of the City of Rockwall.
7. Drainage/Detention Easements/Facilities shall be owned, operated, maintained and repaired by property owner.

We further acknowledge that the dedications and/or exaction's made herein are proportional to the impact of the Addition upon the public services required in order that the development will comport with the present and future growth needs of the City; we, our successors and assigns hereby waive any claim, damage, or cause of action that we may have as a result of the dedication of exactions made herein.

THE MEADOWS, LIMITED

Representative: _____

STATE OF TEXAS)
COUNTY OF ROCKWALL)

Before me, the undersigned authority, on this day personally appeared _____, known to me to be the person whose name is subscribed to the foregoing instrument, and acknowledged to me that he executed the same for the purpose and consideration therein stated.

Given upon my hand and seal of office this _____ day of _____, 2024.

Notary Public in and for the State of Texas

My Commission Expires: _____

RECOMMENDED FOR FINAL APPROVAL

Planning and Zoning Commission _____ Date _____

APPROVED
I hereby certify that the above and foregoing plat of LOT 12, BLOCK A, THE MEADOWS, an addition to the City of Rockwall, Texas, was approved by the City Council of the City of Rockwall on the _____ day of _____, 2024.

This approval shall be invalid unless the approved plat for such addition is recorded in the office of the County Clerk of Rockwall County, Texas, within one hundred eighty (180) days from said date of final approval.

WITNESS OUR HANDS, this _____ day of _____, 2024.

Mayor, City of Rockwall _____ City Secretary _____ City Engineer _____

OWNER
THE MEADOWS LIMITED
2255 Ridge Road
Rockwall, Texas 75087

OWNERS CERTIFICATE

STATE OF TEXAS)
COUNTY OF ROCKWALL)

WHEREAS, The Meadows, Limited is the owner of a tract of land situated in the James Smith Survey, Abstract Number 200 and the E.P.G. Chisum Survey, Abstract Number 64 in the County of Rockwall, State of Texas, being all of the Greenbelt and Utility Easement, Block A and a portion of Hail Drive, (A called 50 feet wide right-of-way), as shown and dedicated by The Meadows, an addition to the City of Rockwall, Texas according to the Plat recorded in Cabinet B, Slide 353, of the Plat Records of Rockwall County, Texas, and being more particularly described as follows:

BEGINNING at a 1/2 inch iron rod with illegible yellow cap found on the southeasterly line of said Hail Drive, same being the west corner of Lot 1, Block B of said Meadows addition;

THENCE South 46 degrees 23 minutes 11 seconds East along the southeasterly line of said Hail Drive and the southwesterly line of said Lot 1, Block B, a distance of 71.26 feet (Plat Distance 71.31 feet) to a 1/2 inch iron rod found on the southeast line of said Meadows Addition for the south corner of said Lot 1, Block B;

THENCE South 43 degrees 36 minutes 49 seconds West along the southeast line of said Meadows Addition passing a 1/2 inch iron rod found for the south corner of said Hail Drive, same being the east corner of said Greenbelt and Utility Easement, Block A, at a distance of 50.00 feet and continuing a total distance of 88.13 feet to a 5/8 inch iron rod with cap stamped "TNP" set for the south corner of said Meadows Addition and the south corner of said Greenbelt and Utility Easement, Block A;

THENCE North 46 degrees 23 minutes 11 seconds West along the southwest line of said Meadows Addition, a distance of 265.18 feet (Plat Distance 265.16 feet) to a 5/8 inch iron rod with cap stamped "TNP" set on the southeast line of W. Ralph Hall Parkway (A called 85 feet wide right-of-way) for the west corner of said Meadows Addition, same being the west corner of said Greenbelt and Utility Easement, Block A;

THENCE North 43 degrees 36 minutes 49 seconds East along the southeast line of said W. Ralph Hall Drive, same being the northwest line of said Meadows Addition and the northwest line of said Greenbelt and Utility Easement, Block A, a distance of 38.13 feet to a 5/8 inch iron rod with cap stamped "TNP" set for the north corner of said Greenbelt and Utility Easement, Block A, same being the west corner of Lot 1, Block A of said Meadows Addition;

THENCE South 46 degrees 23 minutes 11 seconds East departing the southeast line of said W. Ralph Hall Drive, and along the northeast line of said Greenbelt and Utility Easement, Block A, same being the southwest line of said Lot 1, Block A, a distance of 113.65 feet (Plat Distance 113.62 feet) to a 5/8 inch iron rod with cap stamped "TNP" set on the southwesterly line of said Hail Drive for the south corner of said Lot 1, Block A, same being a northerly corner of said Greenbelt and Utility Easement, Block A and at the beginning of a curve to the left;

THENCE with said curve to the left along the southwesterly line and the interior of said Hail Drive having a radius of 50.00 feet, a central angle of 142 degrees 02 minutes 54 seconds, an arc length of 123.96 feet, a chord bearing of South 78 degrees 18 minutes 22 seconds East, a distance of 94.57 feet to the POINT OF BEGINNING containing 13,351 square feet, or 0.306 of an acre of land.

SURVEYOR'S CERTIFICATE

NOW, THEREFORE KNOW ALL MEN BY THESE PRESENTS:

THAT I, Brian J. Maddox, do hereby certify that I prepared this plat from an actual and accurate survey of the land, and that the corner monuments shown thereon were properly placed under my personal supervision.

GIVEN UNDER MY HAND AND SEAL OF OFFICE THIS THE _____ DAY OF _____, 2024

PRELIMINARY. THIS DOCUMENT SHALL NOT BE RECORDED FOR ANY PURPOSE AND SHALL NOT BE USED OR VIEWED OR RELIED UPON AS A FINAL SURVEY DOCUMENT.
BRIAN J. MADDOX, R.P.L.S. NO. 5430

PRELIMINARY
THIS DOCUMENT SHALL NOT BE RECORDED FOR ANY PURPOSE AND SHALL NOT BE USED OR VIEWED OR RELIED UPON AS A FINAL SURVEY DOCUMENT

FINAL PLAT
THE MEADOWS
LOT 12, BLOCK A

BEING A REPLAT OF THE GREENBELT & UTILITY EASEMENT, BLOCK A, AND A PORTION OF HAIL DRIVE THE MEADOWS CONTAINING A TOTAL OF 0.306 ACRES

AND SITUATED IN THE JAMES SMITH SURVEY, ABSTRACT NO. 200 AND THE E.P.G. CHISUM SURVEY, ABSTRACT NO. 64 AN ADDITION TO THE CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS

PROJECT INFORMATION
Project No.: RWL 24372
Date: December 20, 2024
Drawn By: JM
Scale: 1"=40'
SHEET 1 of 1



SURVEYOR
TEAGUE NALL AND PERKINS, INC.
825 Watters Creek Boulevard, Suite M300
Allen, Texas 75013
214.461.9867 ph 214.461.9864 fx
T.B.P.L.S. Registration No. 10194381
www.tnpsc.com

CASE NO. _____

Drawing: C:\Users\bmaddox\AppData\Local\Temp\AcP\Pub\10904\2024\12\19\FWL\24372 Meadows Final Plat.dwg at Dec 21, 2024 1:25pm by bmaddox



July 18, 2024

TO: Dan Pence, *Assistant Executive Director*
Rockwall Housing Development Corporation
787 Hail Drive
Rockwall, Texas 75032

CC: Denny Janssen, *President*
Board of Directors for the Rockwall Housing Development Corporation
787 Hail Drive
Rockwall, Texas 75032

FROM: Ryan Miller, AICP
City of Rockwall Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

SUBJECT: Letter of Intent (LOI) for the Abandonment of the Right-of-Way for Hail Drive

Mr. Pence,

I am writing to you on behalf of the City of Rockwall regarding the abandonment of the excess right-of-way at the end of Hail Drive, which is directly adjacent to property owned by the Rockwall Housing Development Corporation. As you may be aware, the City of Rockwall has identified several unimproved or underutilized City rights-of-way within our jurisdiction that provide limited to no public benefit. These rights-of-way have been maintained by the City for decades without plans for future improvement. In some cases, adjacent properties have constructed improvements within these rights-of-way, further complicating their potential use by the City.

On February 5, 2024, the City Council approved a motion to direct staff to proceed with the abandonment of these rights-of-way to the adjacent property owners. Following this action, the City has decided to abandon the excess right-of-way at the end of Hail Drive, and we are pleased to offer you the opportunity to acquire this land at no cost. The abandoned right-of-way encompasses the entire portion of Hail Drive southeast of the cul-de-sac. By acquiring this land, you will have the opportunity to expand your property and utilize it according to your needs and preferences. This offer aligns with the City of Rockwall's objective of promoting responsible land use and supporting efficient land utilization within our community.

In order to proceed with this transaction, I kindly request your cooperation in signing the attached Letter of Intent (LOI), acknowledging your acceptance of the abandoned right-of-way. Additionally, by signing this letter, you agree to allow the City of Rockwall to file a subdivision plat, which is necessary to accommodate the acquisition of the abandoned land, and you agree to maintain the acquired land. Please note that should you choose not to allow a subdivision plat to be filed after signing this Letter of Intent (LOI), you acknowledge your responsibility for reimbursing the City for any costs associated with the subdivision plat. If you decide not to acquire the abandoned land, please take note that other adjacent property owners will be given the opportunity to acquire the abandoned land.

Please review the attached map, which outlines the details of the abandonment and the terms and conditions of the Letter of Intent (LOI). Please provide all required information back to the Planning and Zoning Department of the City of Rockwall by no later than August 1, 2024 to proceed with the program. If you have any questions or require further clarification, please do not hesitate to contact me by phone at (972) 772-6441 or by email at rmiller@rockwall.com.

The City of Rockwall appreciates your cooperation and looks forward to working with you to finalize this transaction. Your prompt attention to this matter is greatly appreciated.

Sincerely,

Ryan Miller, AICP
Director of Planning and Zoning



0.106 ac

A0064 E P G CHISUM,
TRACT 13-2,
ACRES .343

The data represented on this map was obtained with the best methods available. Data is supplied from various sources and accuracy may be out of the City of Rockwall's control. The verification of accuracy and / or content lies entirely with the end user. The City of Rockwall does not guarantee the accuracy of contained information. All information is provided 'As Is' with no warranty being made, either expressed or implied.



0 50 Feet
Date: 1/19/2024

**RIGHT OF WAY
ABANDONMENT**



The data represented on this map was obtained with the best methods available. Data is supplied from various sources and accuracy may be out of the City of Rockwall's control. The verification of accuracy and / or content lies entirely with the end user. The City of Rockwall does not guarantee the accuracy of contained information. All Information is provided 'As Is' with no warranty being made, either expressed or implied.

DATE: _____

TO: Ryan Miller, AICP
City of Rockwall Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

PROPERTY OWNER INFORMATION:

PROPERTY OWNER NAME(S): Rockwall Housing Development Corporation

PROPERTY OWNER ADDRESS: 787 Hail Drive
Rockwall, TX 75032

PROPERTY ADDRESS: (same)
Rockwall, Texas 75087

SUBJECT: Letter of Intent (LOI) to Accept Abandoned Right-of-Way

This Letter of Intent (LOI) is to express my understanding and acceptance of the City of Rockwall's offer to acquire the land directly adjacent to my property as outlined in *Exhibit 'A'* below. I (we) understand that by accepting this offer, I will have the opportunity to expand and utilize my property in accordance with my needs, preferences, and the requirements of the City of Rockwall. Furthermore, I acknowledge and agree to sign the subdivision plat -- that will be prepared by and at the cost of the City of Rockwall -- to facilitate the acquisition of the abandoned right-of-way as depicted in *Exhibit 'A'* below. I am fully aware of the implications of this agreement and acknowledge my responsibility for maintaining the land depicted in *Exhibit 'A'* and reimbursing the City for any costs associated with the subdivision plat in the event that I (we) fail to sign document when necessary to complete the abandonment.

EXHIBIT 'A': PROPOSED DIVISION OF ABANDONED RIGHT-OF-WAY



PROPERTY OWNER'S SIGNATURE: _____
PROPERTY OWNER'S SIGNATURE: _____

Dennis R. Jausser
President, Board of Directors

CITY OF ROCKWALL

ORDINANCE NO. 24-XX

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, CLOSING, ABANDONING AND VACATING A DEDICATED PUBLIC ALLEYWAY MORE SPECIFICALLY DESCRIBED AND DEPICTED IN *EXHIBIT 'A'* OF THIS ORDINANCE AND CONVEYING THE RIGHT-OF-WAY TO THE ADJACENT PROPERTY OWNERS IN THE MANNER DEPICTED IN THIS ORDINANCE; IDENTIFYING A MUNICIPAL PURPOSE; PROVIDING FOR AN EFFECTIVE DATE.

WHEREAS, Subsection 311.007, *Closing of Street or Alley by Home-Rule Municipality*, of Chapter 311, *General Provisions Relating to Municipal Streets*, of the Texas Transportation Code grants a home-rule municipality the powers to vacate, abandon, or close a street or alleyway; and,

WHEREAS, Section 272.001(b) of the Texas Local Government Code provides that land -- *including streets or alleys* -- owned in fee or used by easement by a political subdivision of the state, may be conveyed, sold or exchanged for less than fair market value with one or more of the abutting property owners who own the underlying fee; and,

WHEREAS, the City of Rockwall currently incurs costs annually associated with the maintenance (*i.e. mowing*) of the dedicated public alleyway -- *described and depicted in Exhibit 'A' of this ordinance* -- which is currently unimproved; and,

WHEREAS, the City Council of the City of Rockwall has determined that the dedicated public alleyway -- *described and depicted in Exhibit 'A' of this ordinance* -- is no longer needed for public purposes, and finds that it is in the best interest of the City to convey the alleyway to the adjacent and abutting property owners -- *in the manner depicted in this ordinance*; and,

WHEREAS, with proper notice to the public, a public hearing was held on February 3, 2025 at a meeting of the City Council of the City of Rockwall, during which all interested parties and citizens were allowed to appear and be heard; and,

WHEREAS, the City of Rockwall has determined that it is feasible and advantageous to abandon this City property subject to the terms and conditions set forth below.

NOW, THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS:

SECTION 1. PROPERTY. The *Property* shall be as described and depicted in *Exhibit 'A'* of this ordinance, and shall be incorporated by reference herein.

SECTION 2. QUITCLAIM. Section 272.001(b) of the Texas Local Government Code allows the City the power to convey city-owned property at less than fair market value to the abutting property owners. The Mayor of the City of Rockwall or the City Manager, as the case may be, are authorized to quitclaim the *Property* described in *Section 1* hereof to the abutting property owner upon the approval of this ordinance.

SECTION 3. LIMITATIONS. The abandonment of the *Property* shall extend only to the public right, title and easement in and to the tracts of land described and depicted in *Exhibit 'A'* of this ordinance, and shall be construed only to that interest the governing body of the City may legally and lawfully

abandon.

SECTION 4. MUNICIPAL PURPOSE. The *Property* described in *Section 1*, save and except the municipal utility easements located thereon, is no longer needed for municipal purposes and it is in the public interest of the City, to abandon said described portions of the right-of-way as depicted in *Exhibit 'A'* to the adjacent and abutting property owners.

SECTION 5. SCOPE. That the abandonment provided for herein shall extend only to the public right, title and easement in and to the tracts of land described in *Section 1* of this ordinance, and shall be construed only to that interest the governing body of the City of Rockwall may legally and lawfully abandon.

SECTION 6. EXCEPTIONS. In addition to the express reservations provided for in *Section 1* hereof, the conveyance is made subject to any and all valid, conditions, easements, restrictions and the like, whether record or not in the real property records of Rockwall County Texas.

SECTION 7. INCORPORATION OF RECITALS. The City Council finds the recitals contained in the preamble to this *Ordinance* are true and correct and incorporates them as findings of fact.

SECTION 8. SAVINGS CLAUSE. If any section or provision of this ordinance or the application of that section or provision to any person, firm, corporation, situation or circumstance is for any reason judged invalid, the adjudication shall not affect any other section or provision of this ordinance or the application of any other section or provision to any other person, firm, corporation, situation or circumstance, and the City Council declares that it would have adopted the valid portions and applications of the ordinance without the invalid parts and to this end the provisions of this ordinance shall remain in full force and effect.

SECTION 9. REPEALING ORDINANCES IN CONFLICT. All ordinances or parts of ordinances in conflict herewith are hereby repealed to the extent of such conflict.

SECTION 10. EFFECTIVE DATE. This *Ordinance* shall be effective immediately following its passage and approval by the City Council.

PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, THIS THE 18TH DAY OF FEBRUARY, 2025.

Trace Johannessen, *Mayor*

ATTEST:

Kristy Teague, *City Secretary*

APPROVED AS TO FORM:

Frank J. Garza, *City Attorney*

1st Reading: February 3, 2025

2nd Reading: February 18, 2025

DRAFT
ORDINANCE
07.28.2025

QUITCLAIM

NOTICE OF CONFIDENTIALITY RIGHTS: IF YOU ARE A NATURAL PERSON, YOU MAY REMOVE OR STRIKE ANY OR ALL OF THE FOLLOWING INFORMATION FROM ANY INSTRUMENT THAT TRANSFERS AN INTEREST IN REAL PROPERTY BEFORE IT IS FILED FOR RECORD IN THE PUBLIC RECORDS: YOUR SOCIAL SECURITY NUMBER OR YOUR DRIVER'S LICENSE NUMBER.

Date: _____, 2025

Grantor: **CITY OF ROCKWALL,**
a Texas Municipal Corporation

Grantor's Mailing Address:

City of Rockwall
385 S. Goliad Street
Rockwall, Rockwall County, Texas 75087

Grantee: Dennis R. Janssen, *President of the Board of Directors*

Grantee's Mailing Address:

Rockwall Housing Development Corporation
787 Hail Drive
Rockwall, Texas 75087

Consideration: Ten and No/100 (\$10.00) Dollars and other good and valuable consideration, the receipt and sufficiency of which is hereby acknowledged

Property (including any improvements):

Being a **0.085-acre tract of land** situated in the James Smith Survey, Abstract No. 64, City of Rockwall, Rockwall County, Texas; said **0.085-acre tract of land** being described as a portion of Lot 12, Block A, The Meadows Addition as depicted in *Exhibit 'A'* of this document, which is adding to the Greenbelt & Utility Easement, Block A, The Meadows that was established by *Cabinet B, Slide 353* of the Real Property Records of Rockwall County, Texas.

For the Consideration, Grantor quitclaims to Grantee all of Grantor's right, title, and interest in and to the Property, to have and to hold it to Grantee and Grantee's successors, and assigns forever. Neither Grantor nor Grantor's successors, or assigns will have, claim, or demand any right or title to the Property or any part of it.

When the context requires, singular nouns and pronouns include the plural.

CITY OF ROCKWALL,
a Texas municipal corporation

By: _____
Trace Johannesen, *Mayor*

ACKNOWLEDGMENT

STATE OF TEXAS

§
§
§

COUNTY OF ROCKWALL

Before me on this _____ day of _____, 2025 personally appeared, Mayor known to me to be the person whose name is subscribed to the foregoing instrument and acknowledged to me that he executed the same as the act of the City of Rockwall, a Texas municipal corporation, as its Mayor, for the purposes and consideration therein expressed.

Notary Public, State of Texas

AFTER RECORDING PLEASE RETURN TO:

Ryan Miller, Director of Planning and Zoning
City of Rockwall
385 S. Goliad Street
Rockwall, Texas 75087



CITY OF ROCKWALL

PLANNING AND ZONING COMMISSION CASE MEMO

PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM

TO: Planning and Zoning Commission

DATE: January 28, 2025

APPLICANT: Ryan Miller; *City of Rockwall*

CASE NUMBER: P2025-002; *Final Plat for Lots 1-4, Block A, Fox-Harris Addition*

SUMMARY

Consider a request by the City of Rockwall for the approval of a Final Plat for Lots 1-4, Block A, Fox-Harris Addition being a 1.124-acre tract of land identified as Lots 1 & 2, Block A, Fox Addition; Lot 3 of the Richard Harris No. 3 Addition; and Lot B, Block 48A, B. F. Boydston Addition, City of Rockwall, Rockwall County, Texas, zoned Single-Family 7 (SF-7) District, addressed as 205 & 209 S. Clark Street and 206 & 210 Wade Drive, and take any action necessary.

PLAT INFORMATION

- Purpose.** The City of Rockwall is requesting the approval of a Final Plat for a 1.124-acre tract of land (*i.e. Lots 1 & 2, Block A, Fox Addition; Lot 3 of the Richard Harris No. 3 Addition; and, Lot B, Block 48A, B. F. Boydston Addition*) for the purpose of abandoning an unimproved public right-of-way that extends from Clark Street to Wade Drive and incorporating the abandoned area into the adjacent properties.

- Background.** On February 5, 2024, the City Council approved a motion directing staff to proceed with a Right-of-Way Abandonment Program that would abandon certain unimproved rights-of-way in the City of Rockwall, deeding these lands to the adjacent property owners at no cost. The basis of this decision was in accordance with Subsection 311.007, Closing of Street or Alley by Home-Rule Municipality, of Chapter 311, General Provisions Relating to Municipal Streets, of the Texas Transportation Code, which grants a home-rule municipality the power to vacate, abandon, or close a street or alleyway; and, in accordance with Subsection 272.001(b) of the Texas Local Government Code, which provides that land -- *including streets or alleys* -- owned in fee or used by easement by a political subdivision of the State, may be conveyed, sold or exchanged for less than fair market value with one (1) or more of the abutting property owners who owns the underlying fee. The alleyway between Clark Street and Wade Drive was originally established prior to August 25, 1934 based on the April 1934 Sanborn Maps. This map depicts this right-of-way as being unimproved right-of-way for Brent Street (*as depicted in Figure 1*), and -- *based on the current condition of the right-of-way* -- it was never utilized as a public street or alleyway (*see Figure 2*). In accordance with the City Council's direction, staff began the process of abandoning this right-of-way on May 29, 2024 by sending the property owners a Letter of Intent (*see the attached*

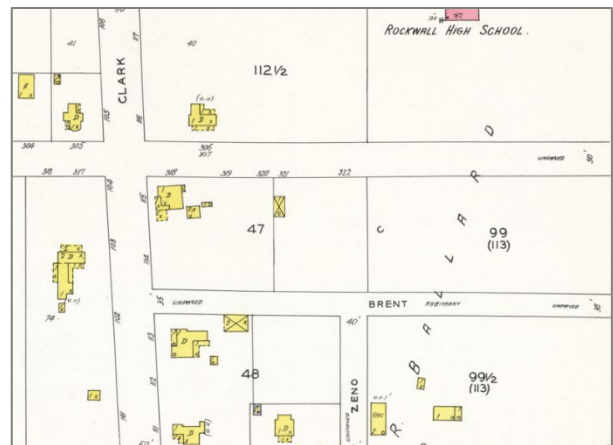


FIGURE 1. SANBORN MAPS SHOWING THE RIGHT-OF-WAY FOR BRENT STREET

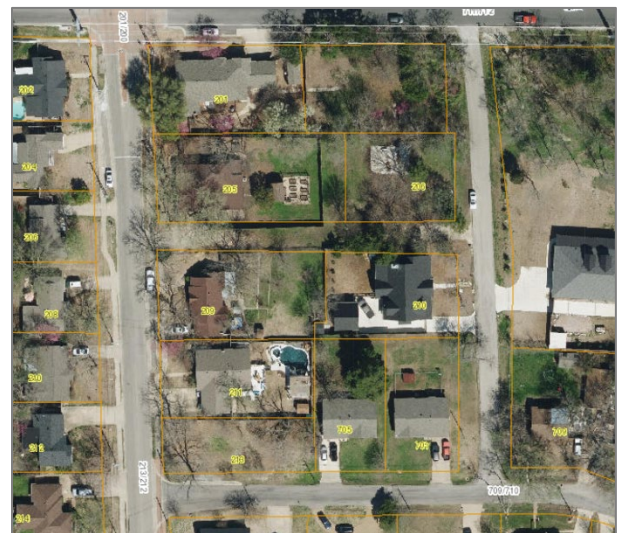


FIGURE 2. 2023 AERIAL IMAGE SHOWING THE UNIMPROVED RIGHT-OF-WAY

Letters of Intent). Once all property owners had signed their letters of intent, staff engaged with *Teague, Nall and Perkins, Inc.* to prepare a subdivision plat for the four (4) properties and the abandoned right-of-way.

- ☑ Public Hearing. In accordance with Subsection 272.001(b) of the Texas Local Government Code, the City Council will be required to hold a public hearing on February 3, 2025. In addition, staff advertised the public hearings in the Rockwall Herald Banner in the manner prescribed by Subsection 272.001(a).
- ☑ Conformance to the Subdivision Ordinance. The City's surveyor has completed the majority of the technical revisions requested by staff, and this plat -- *conforming to the requirements for plats as stipulated by the Chapter 38, Subdivisions, of the Municipal Code of Ordinances* -- is recommended for conditional approval pending the completion of final technical modifications, submittal requirements, and the execution of the attached ordinance and quitclaim deeds. With the exception of the items listed in the *Conditions of Approval* section of this case memo, this plat is in substantial compliance with the requirements of the Subdivision Ordinance in the Municipal Code of Ordinances.
- ☑ Conditional Approval. Conditional approval of this Final Plat by the City Council shall constitute approval subject to the conditions stipulated in the *Conditions of Approval* section below.

CONDITIONS OF APPROVAL

If the Planning and Zoning Commission chooses to recommend approval of the Final Plat for *Lots 1-4, Block A, Fox-Harris Addition*, staff would propose the following conditions of approval:

- (1) All technical comments from the Engineering, Planning and Fire Departments shall be addressed prior to the filing of this Final Plat; and,
- (2) The Final Plat shall not be filed until after the second reading of the ordinance abandoning the right-of-way.
- (3) Any construction resulting from the approval of this Final Plat shall conform to the requirements set forth by the Unified Development Code (UDC), the International Building Code (IBC), the Rockwall Municipal Code of Ordinances, city adopted engineering and fire codes and with all other applicable regulatory requirements administered and/or enforced by the state and federal government.

PROJECT COMMENTS



CITY OF ROCKWALL
385 S. GOLIAD STREET
ROCKWALL, TEXAS 75087
PHONE: (972) 771-7700

DATE: 1/15/2025

PROJECT NUMBER: P2025-002
PROJECT NAME: Final Plat for Lots 1,2,3,4, Block A, Fox-Harris Addition
SITE ADDRESS/LOCATIONS: Clark Street and Wade Drive

CASE CAPTION: Consider a request by the City of Rockwall for the approval of a Final Plat for Lots 1-4, Block A, Fox-Harris Addition being a 1.124-acre tract of land identified as Lots 1 & 2, Block A, Fox Addition; Lot 3 of the Richard Harris No. 3 Addition; and Lot B, Block 48A, B. F. Boydston Addition, City of Rockwall, Rockwall County, Texas, zoned Single-Family 7 (SF-7) District, addressed as 205 & 209 S. Clark Street and 206 & 210 Wade Street, and take any action necessary.

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
PLANNING	Angelica Guevara	01/15/2025	Approved w/ Comments

01/15/2025: P2025-002: Replat for Lots 1, 2, 3, & 4, Block A, Fox-Harris Addition
Please address the following comments (M= Mandatory Comments; I = Informational Comments)

I.1 This is a request for the approval of a Final Plat for Lots 1-4, Block A, Fox-Harris Addition being a 1.124-acre tract of land identified as Lots 1 & 2, Block A, Fox Addition; Lot 3 of the Richard Harris No. 3 Addition; and Lot B, Block 48A, B. F. Boydston Addition, City of Rockwall, Rockwall County, Texas, zoned Single-Family 7 (SF-7) District, addressed as 205 & 209 S. Clark Street and 206 & 210 Wade Street.

I.2 For questions or comments concerning this case please contact Angelica Guevara in the Planning Department at (972) 772-6438 or email aguevara@rockwall.com.

M.3 For reference, include the case number (P2025-002) in the lower right-hand corner of all pages on future submittals.

M.4 Please correct the Title Block to the following:

FINAL PLAT
LOTS 1, 2, 3, & 4, BLOCK A
FOX- HARRIS ADDITION
BEING A REPLAT OF
LOTS 1 & 2, BLOCK A,
FOX ADDITION
AND BEING A REPLAT OF
LOT 3, BLOCK A,
RICHARD HARRIS NO.3 ADDITION and
ALL OF A TRACT OF LAND DESCRIBED BY DEED TO
KEVIN M. LEFERE AND AMANDA HENRY AND
ALL OF A CALLED 30 FEET WIDE ALLEY
CONTAINING

A TOTAL OF
1.124-ACRES OR 49,961 SF
SITUATED IN THE
B.F. BOYDSTUN SURVEY, ABSTRACT NO. 14
CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS

M.5 Please provide and label two (2) state plane coordinates on the plat. (Section 38-7, Subdivision and Platting Procedures, of the Municipal Code of Ordinances)

M.6 Please label the building line setback adjacent to the streets (Wade Drive & Clark Street) on the plat. (Section 38-7, Subdivision and Platting Procedures, of the Municipal Code of Ordinances)

M.7 Please label all existing and proposed easements relative to the site and include the type, width, and purpose. (Section 38-7, Subdivision and Platting Procedures, of the Municipal Code of Ordinances)

M.8 Provide the correct format for the following General Notes (Section 38-7, Subdivision and Platting Procedures, of the Municipal Code of Ordinances):

(1) Subdivider's Statement. Selling a portion of this addition by metes and bounds is unlawful and a violation of the Subdivision Ordinance of the City of Rockwall and Chapter 212, Municipal Regulation of Subdivisions and Property Development, of the Texas Local Government Code, and shall be subject to the City of Rockwall withholding utilities and building permits.

(2) Public Improvement Statement. It shall be the policy of the City of Rockwall to withhold issuing buildings permits until all streets, water, sewer and storm drainage systems have been accepted by the City. The approval of a subdivision plat by the City of Rockwall does not constitute any representation, assurance or guarantee that any building within such subdivision plat shall be approved, authorized, or permit issued, nor shall such approval constitute any representation, assurance or guarantee by the City of Rockwall of the adequacy and availability for water and sanitary sewer for personal use and fire protection within such subdivision plat, as required under the Subdivision Ordinance of the City of Rockwall.

(3) Drainage and Detention Easements. The property owner shall be responsible for maintaining, repairing, and replacing and shall bear sole liability of all systems within the drainage and detention easements.

(4) Fire Lanes. All Fire Lanes will be constructed, maintained, repaired and replaced by the property owner. Fire Lanes shall be constructed in accordance with the approved Civil Engineering Plans for both on-site and off-site Fire Lane improvements.

M.9 Please provide the purpose of the plat under the General Notes section of the plat. (Section 38-7, Subdivision and Platting Procedures, of the Municipal Code of Ordinances).

M.10 Please update the Owner's Certificate and Standard Plat Wording to be in conformance with the subdivision ordinance (i.e. Section 38-7(1)(A)(1)). (Section 38-7, Subdivision and Platting Procedures, of the Municipal Code of Ordinances).

M.11 Please provide the following Surveyor's/Registered Engineer Signature Block. (Section 38-7, Subdivision and Platting Procedures, of the Municipal Code of Ordinances)

NOW, THEREFORE KNOW ALL MEN BY THESE PRESENTS:

THAT I, [SURVEYOR'S NAME], do hereby certify that I prepared this plat from an actual and accurate survey of the land, and that the corner monuments shown thereon were properly placed under my personal supervision.

SURVEYOR SIGNATURE [OR] REGISTERED ENGINEER REGISTERED PUBLIC SURVEYOR NO. [OR]
PROFESSIONAL ENGINEER NO.

M.12 Please provide the following Signature Block. (Section 38-7, Subdivision and Platting Procedures, of the Municipal Code of Ordinances)

APPROVED: I hereby certify that the above and forgoing subdivision plat -- being an addition to the City of Rockwall, Texas -- was approved by the City Council of the City of Rockwall, Texas on the [DAY] day of [MONTH], [YEAR].

MAYOR OF THE CITY OF ROCKWALL
PLANNING AND ZONING COMMISSION CHAIRMAN

CITY SECRETARY

CITY ENGINEER

I.13 Staff has identified the aforementioned items necessary to continue the submittal process. Please make all revisions and corrections and return to staff for a subsequent review prior to approval.

I.14 All meetings will be held in the Rockwall City Council Chambers at 385 S. Goliad Street at 6:00 PM. The meeting schedule for this case is as follows:

Planning and Zoning Meeting: January 28, 2025
City Council Meeting: February 3, 2025

I.15 Please note that a representative is required to be present for the meeting to answer any questions the Planning and Zoning Commission may have regarding your request. Once the Replat has been approved by the Planning and Zoning Commission and City Council, the case will be considered to be conditionally approved pending all of staff's comments from all City Departments and any applicable conditions of approval contained in staff's case memo are addressed prior to the subdivision plat being filed.

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
ENGINEERING	Angelica Guevara	01/08/2025	Needs Review

No Comments

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
BUILDING	Angelica Guevara	01/08/2025	Approved

No Comments

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
FIRE	Angelica Guevara	01/08/2025	Approved

01/08/2025: No Comments.

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
GIS	Lance Singleton	01/08/2025	Approved

No Comments

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
POLICE	Chris Cleveland	01/08/2025	Approved

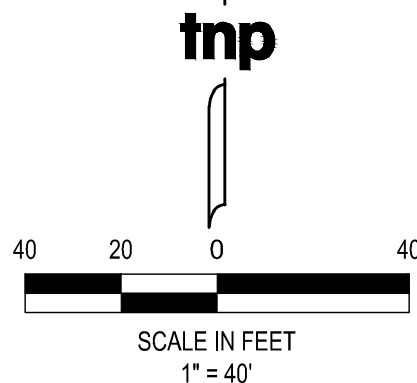
No Comments

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
PARKS	Angelica Guevara	01/08/2025	Approved

01/08/2025: No Comments.

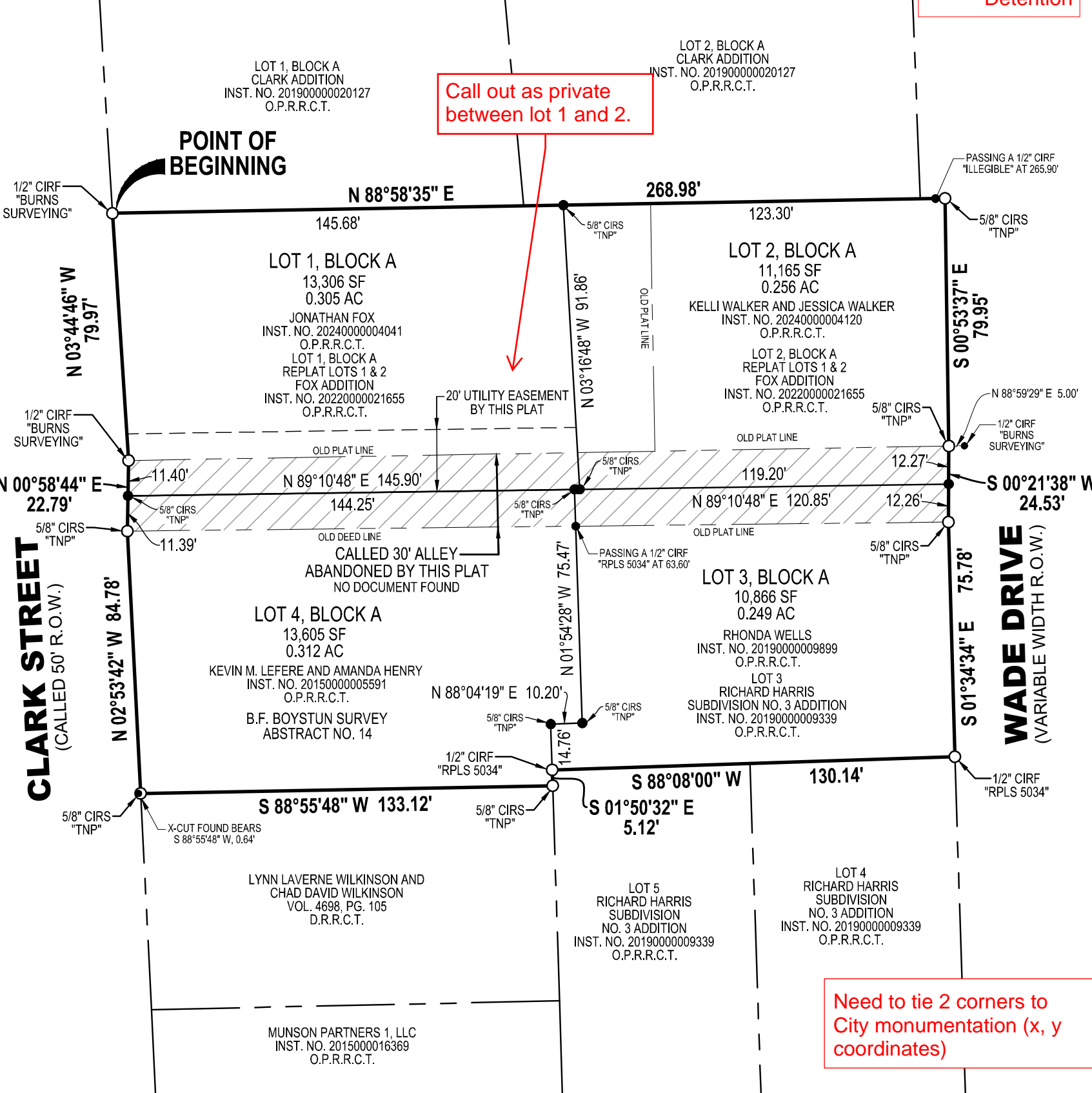
NOTES:

- 1. BEARINGS ARE REFERENCED TO GRID NORTH OF THE TEXAS COORDINATE SYSTEM OF 1983 (NORTH CENTRAL ZONE 4202; NAD83/2011) EPOCH 2010) AS DERIVED LOCALLY FROM ALL TERRA CENTRAL RTKNET CONTINUOUSLY OPERATING REFERENCE STATIONS (CORS) VIA REAL TIME KINEMATIC (RTK) SURVEY METHODS. ALL DISTANCES SHOWN ARE SURFACE DISTANCES USING A COMBINED SCALE FACTOR OF 1.000146135.
2. BY GRAPHIC SCALE ONLY THE SUBJECT PROPERTY APPEARS TO LIE WITHIN ZONE X (AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN), ACCORDING TO THE FLOOD INSURANCE RATE MAP (FIRM) NO. 48397C0040L DATED SEPTEMBER 26, 2008 OF THE NATIONAL INSURANCE RATE MAP PREPARED BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY. THIS STATEMENT SHALL NOT CREATE LIABILITY ON THE PART OF THE SURVEYOR.
3. THE SURVEYOR, AS REQUIRED BY STATE LAW, IS RESPONSIBLE FOR SURVEYING INFORMATION ONLY AND BEARS NO RESPONSIBILITY FOR THE ACCURACY OF THE ENGINEERING DATA ON THIS PLAT.
4. IT SHALL BE THE POLICY OF THE CITY OF ROCKWALL TO WITHHOLD ISSUING BUILDING PERMITS UNTIL ALL STREETS, WATER, SEWER AND STORM DRAINAGE SYSTEMS HAVE BEEN ACCEPTED BY THE CITY. THE APPROVAL OF A PLAT BY THE CITY DOES NOT CONSTITUTE ANY REPRESENTATION, ASSURANCE OR GUARANTEE THAT ANY BUILDING WITHIN SUCH PLAT SHALL BE APPROVED, AUTHORIZED OR PERMIT THEREFORE ISSUED, NOR SHALL SUCH APPROVAL CONSTITUTE ANY REPRESENTATION, ASSURANCE OR GUARANTEE BY THE CITY OF THE ADEQUACY AND AVAILABILITY FOR WATER FOR PERSONAL USE AND FIRE PROTECTION WITHIN SUCH PLAT, AS REQUIRED UNDER ORDINANCE 83-54.



LEGEND

- CIRF - CAPPED IRON ROD FOUND
N.T.S. - NOT TO SCALE
R.O.W. - RIGHT OF WAY
INST. NO. - INSTRUMENT NUMBER
VOL. - VOLUME
PG. PAGE
SF - SQUARE FEET
AC - ACRES
D.R.R.C.T. - DEED RECORDS ROCKWALL COUNTY, TEXAS
O.P.R.R.C.T. - OFFICIAL PUBLIC RECORDS ROCKWALL COUNTY, TEXAS



Call out as private between lot 1 and 2.

Drainage and Detention

Need to tie 2 corners to City monumentation (x, y coordinates)

OWNERS DEDICATION

NOW, THEREFORE, KNOW ALL MEN BY THESE PRESENTS:

STATE OF TEXAS)
COUNTY OF ROCKWALL)

We, the undersigned owners of the land shown on this plat, and designated herein as LOTS 1, 2, 3, & 4, BLOCK A, FOX-HARRIS ADDITION an addition to the City of Rockwall, Texas, and whose name is subscribed hereto, hereby dedicate to the use of the public forever all streets, alleys, parks, water courses, drains, easements and public places thereon shown on the purpose and consideration therein expressed. I understand and do hereby reserve the easement strips shown on this plat for the mutual use and accommodation of all utilities desiring to use or using same. I also understand the following;

- 1. No buildings shall be constructed or placed upon, over, or across the utility easements as described herein.
2. Any public utility shall have the right to remove and keep removed all or part of any buildings, fences, trees, shrubs, or other growths or improvements which in any way endanger or interfere with construction, maintenance or efficiency of their respective system on any of these easement strips; and any public utility shall at all times have the right of ingress or egress to, from and upon the said easement strips for purpose of construction, reconstruction, inspecting, patrolling, maintaining, and either adding to or removing all or part of their respective system without the necessity of, at any time, procuring the permission of anyone.
3. The City of Rockwall will not be responsible for any claims of any nature resulting from or occasioned by the establishment of grade of streets in the subdivision.
4. The developer and subdivision engineer shall bear total responsibility for storm drain improvements.
5. The developer shall be responsible for the necessary facilities to provide drainage patterns and drainage controls such that properties within the drainage area are not adversely affected by storm drainage from the development.
6. No house dwelling unit, or other structure shall be constructed on any lot in this addition by the owner or any other person until the developer and/or owner has complied with all requirements of the Subdivision Regulations of the City of Rockwall regarding improvements with respect to the entire block on the street or streets on which property abuts, including the actual installation of streets with the required base and paving, curb and gutter, water and sewer, drainage structures, storm structures, storm sewers, and alleys, all according to the specifications of the City of Rockwall; or until an escrow deposit, sufficient to pay for the cost of such improvements, as determined by the city's engineer and/or city administrator, computed on a private commercial rate basis, has been made with the city secretary, accompanied by an agreement signed by the developer and/or owner, authorizing the city to make such improvements at prevailing private commercial rates, or have the same made by a contractor and pay for the same out of the escrow deposit, should the developer and/or owner fail or refuse to install the required improvements within the time stated in such written agreement, but in no case shall the City be obligated to make such improvements itself. Such deposit may be used by the owner and/or developer as progress payments as the work progresses in making such improvements by making certified requisitions to the city secretary, supported by evidence of work done; or until the developer and/or owner files a corporate surety bond with the city secretary in a sum equal to the cost of such improvements for the designated area, guaranteeing the installation thereof within the time stated in the bond, which time shall be fixed by the city council of the City of Rockwall.
7. Drainage/Retention Easements/Facilities shall be owned, operated, maintained and repaired by property owner.

We further acknowledge that the dedications and/or exaction's made herein are proportional to the impact of the Addition upon the public services required in order that the development will comport with the present and future growth needs of the City; we, our successors and assigns hereby waive any claim, damage, or cause of action that we may have as a result of the dedication of exactions made herein.

JONATHAN FOX

STATE OF TEXAS)
COUNTY OF ROCKWALL)

Before me, the undersigned authority, on this day personally appeared _____, known to me to be the person whose name is subscribed to the foregoing instrument, and acknowledged to me that he executed the same for the purpose and consideration therein stated.

Given upon my hand and seal of office this _____ day of _____, 2024.

Notary Public in and for the State of Texas

My Commission Expires: _____

KELLI WALKER

STATE OF TEXAS)
COUNTY OF ROCKWALL)

Before me, the undersigned authority, on this day personally appeared _____, known to me to be the person whose name is subscribed to the foregoing instrument, and acknowledged to me that he executed the same for the purpose and consideration therein stated.

Given upon my hand and seal of office this _____ day of _____, 2024.

Notary Public in and for the State of Texas

My Commission Expires: _____

JESSICA WALKER

STATE OF TEXAS)
COUNTY OF ROCKWALL)

Before me, the undersigned authority, on this day personally appeared _____, known to me to be the person whose name is subscribed to the foregoing instrument, and acknowledged to me that he executed the same for the purpose and consideration therein stated.

Given upon my hand and seal of office this _____ day of _____, 2024.

Notary Public in and for the State of Texas

My Commission Expires: _____

RHONDA WELLS

STATE OF TEXAS)
COUNTY OF ROCKWALL)

Before me, the undersigned authority, on this day personally appeared _____, known to me to be the person whose name is subscribed to the foregoing instrument, and acknowledged to me that he executed the same for the purpose and consideration therein stated.

Given upon my hand and seal of office this _____ day of _____, 2024.

Notary Public in and for the State of Texas

My Commission Expires: _____

GENERAL NOTES [Please add this to any other notes included on the plat.]

- (1) Subdivider's Statement. Selling a portion of this addition by metes and bounds is unlawful and a violation of the Subdivision Ordinance of the City of Rockwall and Chapter 212, Municipal Regulation of Subdivisions and Property Development, of the Texas Local Government Code, and shall be subject to the City of Rockwall withholding utilities and building permits.
(2) Public Improvement Statement. It shall be the policy of the City of Rockwall to withhold issuing buildings permits until all streets, water, sewer and storm drainage systems have been accepted by the City. The approval of a subdivision plat by the City of Rockwall does not constitute any representation, assurance or guarantee that any building within such subdivision plat shall be approved, authorized, or permit issued, nor shall such approval constitute any representation, assurance or guarantee by the City of Rockwall of the adequacy and availability for water and sanitary sewer for personal use and fire protection within such subdivision plat, as required under the Subdivision Ordinance of the City of Rockwall.
(3) Drainage and Detention Easements. The property owner shall be responsible for maintaining, repairing, and replacing and shall bear sole liability of all systems within the drainage and detention easements.
(4) Fire Lanes. All Fire Lanes will be constructed, maintained, repaired and replaced by the property owner. Fire Lanes shall be constructed in accordance with the approved Civil Engineering Plans for both on-site and off-site Fire Lane improvements.
(5) Street Appearances. All decorative signage, posts, or lights installed in public right-of-way shall be installed, maintained, repaired, and replaced by the Homeowner's Association (HOA).

2025 for all dates.

Please include these general notes on the plat.

KEVIN M. LEFERE

STATE OF TEXAS)
COUNTY OF ROCKWALL)

Before me, the undersigned authority, on this day personally appeared _____, known to me to be the person whose name is subscribed to the foregoing instrument, and acknowledged to me that he executed the same for the purpose and consideration therein stated.

Given upon my hand and seal of office this _____ day of _____, 2024.

Notary Public in and for the State of Texas

My Commission Expires: _____

AMANDA HENRY

STATE OF TEXAS)
COUNTY OF ROCKWALL)

Before me, the undersigned authority, on this day personally appeared _____, known to me to be the person whose name is subscribed to the foregoing instrument, and acknowledged to me that he executed the same for the purpose and consideration therein stated.

Given upon my hand and seal of office this _____ day of _____, 2024.

Notary Public in and for the State of Texas

My Commission Expires: _____

OWNERS CERTIFICATE

STATE OF TEXAS)
COUNTY OF ROCKWALL)

WHEREAS, Jonathan Fox, Kelli Walker and Jessica Walker, Rhonda Wells, and Kevin M. Lefere and Amanda Henry, being the owners of a tract of land in the County of Rockwall, State of Texas, being all of Lots 1 & 2, Block A, Fox Addition, an addition to the City of Rockwall, Texas according to the Plat recorded in Instrument Number 2022000021655 of the Official Public Records of Rockwall County, Texas, all of Lot 3 of Richard Harris No. 3 Addition, an addition to the City of Rockwall, Texas according to the Plat recorded in Instrument Number 2019000009339 of the Official Public Records of Rockwall County, Texas, all of a tract of land described by deed to Kevin M. Lefere and Amanda Henry as recorded in Instrument Number 2015000005591 of the Official Public Records of Rockwall County, Texas, and all of a called 30 feet wide alley, and being more particularly described as follows:

BEGINNING at a 1/2 inch iron rod with cap stamped "BURNS SURVEYING" found on the east right-of-way of Clark Street, a called 50 foot right-of-way, for the southwest corner of Lot 1, Block A of Clark Addition, an addition to the City of Rockwall, Texas as recorded in Instrument Number 201900002127 of the Official Public Records of Rockwall County, Texas, same being the northwest corner of said Lot 1, Block A, Fox Addition;

THENCE North 88 degrees 58 minutes 35 seconds East departing the east right-of-way of said Clark Street and along the south line of said Clark Addition, same being the north line of said Fox Addition, passing at a distance of 265.90 feet a 1/2 inch iron rod with an illegible cap found, and continuing a total distance of 268.98 feet to a 5/8 inch iron rod with cap stamped "TNP" set on the west right-of-way of Wade Drive, a variable width right-of-way, for the northeast corner of said Lot 2, Block A, Fox Addition;

THENCE South 00 degrees 53 minutes 37 seconds East, along the west right-of-way of said Wade Drive and the east line of said Fox Addition, a distance of 79.95 feet to a 5/8 inch iron rod with cap stamped "TNP" set for the southeast corner of said Lot 2, Block A, from which a 1/2 inch iron rod found for the southeast corner of said Fox Addition bears North 88 degrees 59 minutes 29 seconds East, a distance of 5.00 feet;

THENCE South 00 degrees 21 minutes 38 seconds West continuing along the west right-of-way of said Wade Drive, a distance of 24.53 feet to a 5/8 inch iron rod with cap stamped "TNP" set for the northeast corner of said Lot 3, Block A, Richard Harris No. 3 Addition ;

THENCE South 01 degrees 34 minutes 34 seconds East continuing along the west right-of-way of said Wade Drive and the east line of said Lot 3, Block A, a distance of 75.78 feet to a 1/2 inch iron rod with cap stamped "RPLS 5034" found for the southeast corner of said Lot 3, and the northeast corner of Lot 4 of said Richard Harris No. 3 Addition;

THENCE South 88 degrees 08 minutes 00 seconds West departing the west right-of-way of said Wade Drive and along the south line of said Lot 3, Richard Harris No. 3 Addition and the north line of Lot 4 of said Richard Harris No. 3 Addition, a distance of 130.14 feet to a 1/2 inch iron rod with cap stamped "RPLS 5034" found in the east line of said Lefere tract for the southwest corner of said Lot 3, Richard Harris No. 3 Addition, same being the northwest corner of Lot 5 of said Richard Harris No. 3 Addition;

THENCE South 01 degrees 50 minutes 32 seconds East along the east line of said Lefere tract, same being the west line of said Lot 5, Richard Harris No. 3 Addition, a distance of 5.12 feet to a 5/8 inch iron rod with cap stamped "TNP" set for the northeast corner of a tract of land described by deed to Lynn Laverne Wilkinson and Chad David Wilkinson as recorded in Volume 4698, Page 105 of the Deed Records of Rockwall County, Texas, same being the southeast corner of said Lefere tract;

THENCE South 88 degrees 55 minutes 48 seconds West along the south line of said Lefere tract, same being the north line of said Wilkinson tract, a distance of 133.12 feet to a 5/8 inch iron rod with cap stamped "TNP" set on the east right-of-way of said Clark Street for the southwest corner of said Lefere tract, same being the northwest corner of said Wilkinson tract, from which an x-cut found bears South 88 degrees 55 minutes 48 seconds West, a distance of 0.64 feet;

THENCE North 02 degrees 53 minutes 42 seconds West along the east right-of-way of said Clark Street and the west line of said Lefere tract, a distance of 84.78 feet to a 5/8 inch iron rod with cap stamped "TNP" set for the northwest corner of said Lefere tract;

THENCE North 00 degrees 58 minutes 44 seconds East continuing along the east right-of-way of said Clark Street, a distance of 22.79 feet to a 1/2 inch iron rod with cap stamped "BURNS SURVEYING" found for the southwest corner of said Lot 1, Block A, Fox Addition;

THENCE North 03 degrees 44 minutes 46 seconds West continuing along the east right-of-way of said Clark Street and the west line of said Lot 1, Block A, Fox Addition, a distance of 79.97 feet to the POINT OF BEGINNING containing 48,942 square feet, or 1.124 acres of land.

SURVEYOR'S CERTIFICATE

NOW, THEREFORE KNOW ALL MEN BY THESE PRESENTS:

THAT I, Brian J. Maddox, do hereby certify that I prepared this plat from an actual and accurate survey of the land, and that the corner monuments shown thereon were properly placed under my personal supervision.

MY HAND AND SEAL OF OFFICE THIS THE _____ DAY OF _____, 2024.

THIS DOCUMENT SHALL NOT BE RECORDED SE AND SHALL NOT BE USED OR VIEWED AS A FINAL SURVEY DOCUMENT.
OX, R.P.L.S. NO. 5430

MINIARY
UMENT SHALL
ECORDED FOR
ROSE AND
T BE USED OR
) OR RELIED
AS A FINAL
OCUMENT

FINAL PLAT
FOX-HARRIS ADDITION
LOTS 1, 2, 3, & 4, BLOCK A

BEING A REPLAT OF LOTS 1 & 2, BLOCK A OF FOX ADDITION, A REPLAT OF LOT 3, BLOCK A OF RICHARD HARRIS NO. 3 ADDITION, ALL OF A TRACT OF LAND DESCRIBED BY DEED TO KEVIN M. LEFERE AND AMANDA HENRY AND ALL OF A CALLED 30 FEET WIDE ALLEY CONTAINING A TOTAL OF 1.124 ACRES

AND SITUATED IN THE B.F.. BOYSTUN SURVEY, ABSTRACT NO. 14 AN ADDITION TO THE CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS

PROJECT INFORMATION

Project No.: RWL 24372
Date: December 19, 2024
Drawn By: WS
Scale: 1"=40'
SHEET 1 of 1



CASE NO. _____

SURVEYOR

TEAGUE NALL AND PERKINS, INC.
825 Watters Creek Boulevard, Suite M300
Allen, Texas 75013
214.461.9867 ph 214.461.9864 fx
T.B.P.L.S. Registration No. 10194381
www.tnpsc.com

RECOMMENDED FOR FINAL APPROVAL

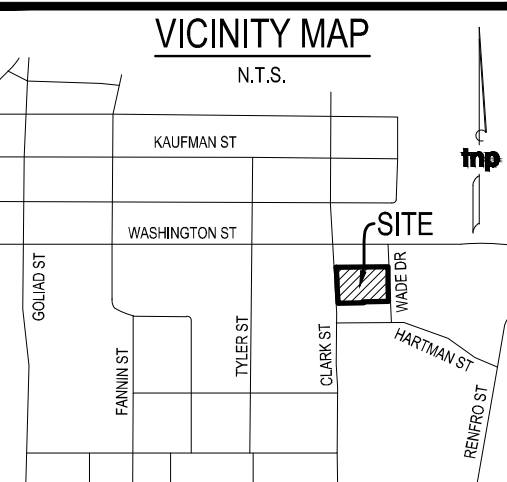
Planning and Zoning Commission _____ Date _____

APPROVED
I hereby certify that the above and foregoing plat of LOTS 1, 2, 3, & 4, BLOCK 1, FOX-HARRIS ADDITION, an addition to the City of Rockwall, Texas, was approved by the City Council of the City of Rockwall on the _____ day of _____, 2024.

This approval shall be invalid unless the approved plat for such addition is recorded in the office of the County Clerk of Rockwall County, Texas, within one hundred eighty (180) days from said date of final approval.

WITNESS OUR HANDS, this _____ day of _____, 2024.

Mayor, City of Rockwall _____ City Secretary _____ City Engineer _____



Drawing: L:\Projects\RWL 24372 Downtown Rockwall\Platting\Cadd\Deliverables\Final_Plan\2024_12_19_RWL 24372 Fox-Harris Final Plat.dwg at Dec-19, 2024 2:43pm by wslnglston



P2025-002: Final Plat for Lots 1-4, Block A, Fox-Harris Addition



Case Location Map = 



City of Rockwall

Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087
(P): (972) 771-7745
(W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.



NOTES:

- 1. BEARINGS ARE REFERENCED TO GRID NORTH OF THE TEXAS COORDINATE SYSTEM OF 1983 (NORTH CENTRAL ZONE 4202; NAD83/2011) EPOCH 2010) AS DERIVED LOCALLY FROM ALL TERRA CENTRAL RTKNET CONTINUOUSLY OPERATING REFERENCE STATIONS (CORS) VIA REAL TIME KINEMATIC (RTK) SURVEY METHODS. ALL DISTANCES SHOWN ARE SURFACE DISTANCES USING A COMBINED SCALE FACTOR OF 1.000146135.
2. BY GRAPHIC SCALE ONLY THE SUBJECT PROPERTY APPEARS TO LIE WITHIN ZONE X (AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN), ACCORDING TO THE FLOOD INSURANCE RATE MAP (FIRM) NO. 48397C0040L DATED SEPTEMBER 26, 2008 OF THE NATIONAL INSURANCE RATE MAP PREPARED BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY. THIS STATEMENT SHALL NOT CREATE LIABILITY ON THE PART OF THE SURVEYOR.
3. THE SURVEYOR, AS REQUIRED BY STATE LAW, IS RESPONSIBLE FOR SURVEYING INFORMATION ONLY AND BEARS NO RESPONSIBILITY FOR THE ACCURACY OF THE ENGINEERING DATA ON THIS PLAT.
4. IT SHALL BE THE POLICY OF THE CITY OF ROCKWALL TO WITHHOLD ISSUING BUILDING PERMITS UNTIL ALL STREETS, WATER, SEWER AND STORM DRAINAGE SYSTEMS HAVE BEEN ACCEPTED BY THE CITY. THE APPROVAL OF A PLAT BY THE CITY DOES NOT CONSTITUTE ANY REPRESENTATION, ASSURANCE OR GUARANTEE THAT ANY BUILDING WITHIN SUCH PLAT SHALL BE APPROVED, AUTHORIZED OR PERMIT THEREFORE ISSUED, NOR SHALL SUCH APPROVAL CONSTITUTE ANY REPRESENTATION, ASSURANCE OR GUARANTEE BY THE CITY OF THE ADEQUACY AND AVAILABILITY FOR WATER FOR PERSONAL USE AND FIRE PROTECTION WITHIN SUCH PLAT, AS REQUIRED UNDER ORDINANCE 83-54.

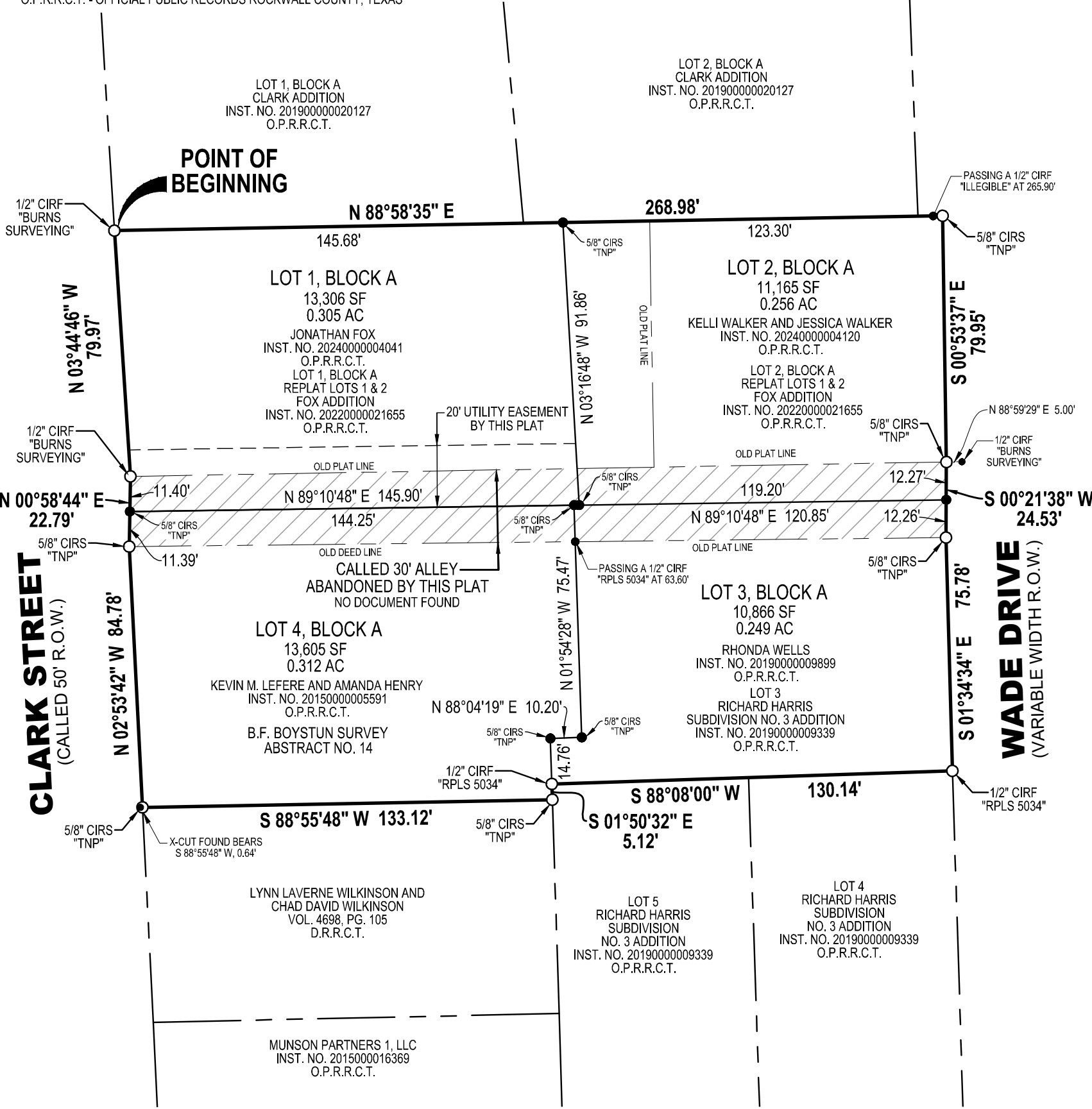
tnp



SCALE IN FEET 1" = 40'

LEGEND

- CIRF - CAPPED IRON ROD FOUND
N.T.S. - NOT TO SCALE
R.O.W. - RIGHT OF WAY
INST. NO. - INSTRUMENT NUMBER
VOL. - VOLUME
PG. PAGE
SF - SQUARE FEET
AC - ACRES
D.R.R.C.T. - DEED RECORDS ROCKWALL COUNTY, TEXAS
O.P.R.R.C.T. - OFFICIAL PUBLIC RECORDS ROCKWALL COUNTY, TEXAS



OWNERS DEDICATION

NOW, THEREFORE, KNOW ALL MEN BY THESE PRESENTS:

STATE OF TEXAS)
COUNTY OF ROCKWALL)

We, the undersigned owners of the land shown on this plat, and designated herein as LOTS 1, 2, 3, & 4, BLOCK A, FOX-HARRIS ADDITION an addition to the City of Rockwall, Texas, and whose name is subscribed hereto, hereby dedicate to the use of the public forever all streets, alleys, parks, water courses, drains, easements and public places thereon shown on the purpose and consideration therein expressed. I understand and do hereby reserve the easement strips shown on this plat for the purposes stated and for the mutual use and accommodation of all utilities desiring to use or using same. I also understand the following;

- 1. No buildings shall be constructed or placed upon, over, or across the utility easements as described herein.
2. Any public utility shall have the right to remove and keep removed all or part of any buildings, fences, trees, shrubs, or other growths or improvements which in any way endanger or interfere with construction, maintenance or efficiency of their respective system on any of these easement strips; and any public utility shall at all times have the right of ingress or egress to, from and upon the said easement strips for purpose of construction, reconstruction, inspecting, patrolling, maintaining, and either adding to or removing all or part of their respective system without the necessity of, at any time, procuring the permission of anyone.
3. The City of Rockwall will not be responsible for any claims of any nature resulting from or occasioned by the establishment of grade of streets in the subdivision.
4. The developer and subdivision engineer shall bear total responsibility for storm drain improvements.
5. The developer shall be responsible for the necessary facilities to provide drainage patterns and drainage controls such that properties within the drainage area are not adversely affected by storm drainage from the development.
6. No house dwelling unit, or other structure shall be constructed on any lot in this addition by the owner or any other person until the developer and/or owner has complied with all requirements of the Subdivision Regulations of the City of Rockwall regarding improvements with respect to the entire block on the street or streets on which property abuts, including the actual installation of streets with the required base and paving, curb and gutter, water and sewer, drainage structures, storm structures, storm sewers, and alleys, all according to the specifications of the City of Rockwall; or until an escrow deposit, sufficient to pay for the cost of such improvements, as determined by the city's engineer and/or city administrator, computed on a private commercial rate basis, has been made with the city secretary, accompanied by an agreement signed by the developer and/or owner, authorizing the city to make such improvements at prevailing private commercial rates, or have the same made by a contractor and pay for the same out of the escrow deposit, should the developer and/or owner fail or refuse to install the required improvements within the time stated in such written agreement, but in no case shall the City be obligated to make such improvements itself. Such deposit may be used by the owner and/or developer as progress payments as the work progresses in making such improvements by making certified requisitions to the city secretary, supported by evidence of work done; or until the developer and/or owner files a corporate surety bond with the city secretary in a sum equal to the cost of such improvements for the designated area, guaranteeing the installation thereof within the time stated in the bond, which time shall be fixed by the city council of the City of Rockwall.
7. Drainage/Detention Easements/Facilities shall be owned, operated, maintained and repaired by property owner.

We further acknowledge that the dedications and/or exaction's made herein are proportional to the impact of the Addition upon the public services required in order that the development will comport with the present and future growth needs of the City; we, our successors and assigns hereby waive any claim, damage, or cause of action that we may have as a result of the dedication of exactions made herein.

JONATHAN FOX

STATE OF TEXAS)
COUNTY OF ROCKWALL)

Before me, the undersigned authority, on this day personally appeared _____, known to me to be the person whose name is subscribed to the foregoing instrument, and acknowledged to me that he executed the same for the purpose and consideration therein stated.

Given upon my hand and seal of office this _____ day of _____, 2024.

Notary Public in and for the State of Texas

My Commission Expires: _____

KELLI WALKER

STATE OF TEXAS)
COUNTY OF ROCKWALL)

Before me, the undersigned authority, on this day personally appeared _____, known to me to be the person whose name is subscribed to the foregoing instrument, and acknowledged to me that he executed the same for the purpose and consideration therein stated.

Given upon my hand and seal of office this _____ day of _____, 2024.

Notary Public in and for the State of Texas

My Commission Expires: _____

JESSICA WALKER

STATE OF TEXAS)
COUNTY OF ROCKWALL)

Before me, the undersigned authority, on this day personally appeared _____, known to me to be the person whose name is subscribed to the foregoing instrument, and acknowledged to me that he executed the same for the purpose and consideration therein stated.

Given upon my hand and seal of office this _____ day of _____, 2024.

Notary Public in and for the State of Texas

My Commission Expires: _____

RHONDA WELLS

STATE OF TEXAS)
COUNTY OF ROCKWALL)

Before me, the undersigned authority, on this day personally appeared _____, known to me to be the person whose name is subscribed to the foregoing instrument, and acknowledged to me that he executed the same for the purpose and consideration therein stated.

Given upon my hand and seal of office this _____ day of _____, 2024.

Notary Public in and for the State of Texas

My Commission Expires: _____

Table with 4 columns: OWNER LOT 1 (Jonathan Fox), OWNER LOT 2 (Kelli Walker and Jessica Walker), OWNER LOT 3 (Rhonda Wells), OWNER LOT 4 (Kevin M. Lefere and Amanda Henry). Includes addresses in Rockwall, Texas.

KEVIN M. LEFERE

STATE OF TEXAS)
COUNTY OF ROCKWALL)

Before me, the undersigned authority, on this day personally appeared _____, known to me to be the person whose name is subscribed to the foregoing instrument, and acknowledged to me that he executed the same for the purpose and consideration therein stated.

Given upon my hand and seal of office this _____ day of _____, 2024.

Notary Public in and for the State of Texas

My Commission Expires: _____

AMANDA HENRY

STATE OF TEXAS)
COUNTY OF ROCKWALL)

Before me, the undersigned authority, on this day personally appeared _____, known to me to be the person whose name is subscribed to the foregoing instrument, and acknowledged to me that he executed the same for the purpose and consideration therein stated.

Given upon my hand and seal of office this _____ day of _____, 2024.

Notary Public in and for the State of Texas

My Commission Expires: _____

OWNERS CERTIFICATE

STATE OF TEXAS)
COUNTY OF ROCKWALL)

WHEREAS, Jonathan Fox, Kelli Walker and Jessica Walker, Rhonda Wells, and Kevin M. Lefere and Amanda Henry, being the owners of a tract of land in the County of Rockwall, State of Texas, being all of Lots 1 & 2, Block A, Fox Addition, an addition to the City of Rockwall, Texas according to the Plat recorded in Instrument Number 2022000021655 of the Official Public Records of Rockwall County, Texas, all of Lot 3 of Richard Harris No. 3 Addition, an addition to the City of Rockwall, Texas according to the Plat recorded in Instrument Number 2019000009339 of the Official Public Records of Rockwall County, Texas, all of a tract of land described by deed to Kevin M. Lefere and Amanda Henry as recorded in Instrument Number 2015000005591 of the Official Public Records of Rockwall County, Texas, and all of a called 30 feet wide alley, and being more particularly described as follows:

BEGINNING at a 1/2 inch iron rod with cap stamped "BURNS SURVEYING" found on the east right-of-way of Clark Street, a called 50 foot right-of-way, for the southwest corner of Lot 1, Block A of Clark Addition, an addition to the City of Rockwall, Texas as recorded in Instrument Number 2019000020127 of the Official Public Records of Rockwall County, Texas, same being the northwest corner of said Lot 1, Block A, Fox Addition;

THENCE North 88 degrees 58 minutes 35 seconds East departing the east right-of-way of said Clark Street and along the south line of said Clark Addition, same being the north line of said Fox Addition, passing at a distance of 265.90 feet a 1/2 inch iron rod with an illegible cap found, and continuing a total distance of 268.98 feet to a 5/8 inch iron rod with cap stamped "TNP" set on the west right-of-way of Wade Drive, a variable width right-of-way, for the northeast corner of said Lot 2, Block A, Fox Addition;

THENCE South 00 degrees 53 minutes 37 seconds East, along the west right-of-way of said Wade Drive and the east line of said Fox Addition, a distance of 79.95 feet to a 5/8 inch iron rod with cap stamped "TNP" set for the southeast corner of said Lot 2, Block A, Fox Addition;

THENCE South 00 degrees 21 minutes 38 seconds West continuing along the west right-of-way of said Wade Drive, a distance of 24.53 feet to a 5/8 inch iron rod with cap stamped "TNP" set for the northeast corner of said Lot 3, Block A, Richard Harris No. 3 Addition ;

THENCE South 01 degrees 34 minutes 34 seconds East continuing along the west right-of-way of said Wade Drive and the east line of said Lot 3, Block A, a distance of 75.78 feet to a 1/2 inch iron rod with cap stamped "RPLS 5034" found for the southeast corner of said Lot 3, and the northeast corner of Lot 4 of said Richard Harris No. 3 Addition;

THENCE South 88 degrees 08 minutes 00 seconds West departing the west right-of-way of said Wade Drive and along the south line of said Lot 3, Richard Harris No. 3 Addition and the north line of Lot 4 of said Richard Harris No. 3 Addition, a distance of 130.14 feet to a 1/2 inch iron rod with cap stamped "RPLS 5034" found in the east line of said Lefere tract for the southwest corner of said Lot 3, Richard Harris No. 3 Addition, same being the northwest corner of Lot 5 of said Richard Harris No. 3 Addition;

THENCE South 01 degrees 50 minutes 32 seconds East along the east line of said Lefere tract, same being the west line of said Lot 5, Richard Harris No. 3 Addition, a distance of 5.12 feet to a 5/8 inch iron rod with cap stamped "TNP" set for the northeast corner of a tract of land described by deed to Lynn Laverne Wilkinson and Chad David Wilkinson as recorded in Volume 4698, Page 105 of the Deed Records of Rockwall County, Texas, same being the southeast corner of said Lefere tract;

THENCE South 88 degrees 55 minutes 48 seconds West along the south line of said Lefere tract, same being the north line of said Wilkinson tract, a distance of 133.12 feet to a 5/8 inch iron rod with cap stamped "TNP" set on the east right-of-way of said Clark Street for the southwest corner of said Lefere tract, same being the northwest corner of said Wilkinson tract, from which an x-cut found bears South 88 degrees 55 minutes 48 seconds West, a distance of 0.64 feet;

THENCE North 02 degrees 53 minutes 42 seconds West along the east right-of-way of said Clark Street and the west line of said Lefere tract, a distance of 84.78 feet to a 5/8 inch iron rod with cap stamped "TNP" set for the northwest corner of said Lefere tract;

THENCE North 00 degrees 58 minutes 44 seconds East continuing along the east right-of-way of said Clark Street, a distance of 22.79 feet to a 1/2 inch iron rod with cap stamped "BURNS SURVEYING" found for the southwest corner of said Lot 1, Block A, Fox Addition;

THENCE North 03 degrees 44 minutes 46 seconds West continuing along the east right-of-way of said Clark Street and the west line of said Lot 1, Block A, Fox Addition, a distance of 79.97 feet to the POINT OF BEGINNING containing 48,942 square feet, or 1.124 acres of land.

SURVEYOR'S CERTIFICATE

NOW, THEREFORE KNOW ALL MEN BY THESE PRESENTS:

THAT I, Brian J. Maddox, do hereby certify that I prepared this plat from an actual and accurate survey of the land, and that the corner monuments shown thereon were properly placed under my personal supervision.

GIVEN UNDER MY HAND AND SEAL OF OFFICE THIS THE _____ DAY OF _____, 2024.

PRELIMINARY, THIS DOCUMENT SHALL NOT BE RECORDED FOR ANY PURPOSE AND SHALL NOT BE USED OR VIEWED OR RELIED UPON AS A FINAL SURVEY DOCUMENT. BRIAN J. MADDOX, R.P.L.S. NO. 5430

PRELIMINARY

THIS DOCUMENT SHALL NOT BE RECORDED FOR ANY PURPOSE AND SHALL NOT BE USED OR VIEWED OR RELIED UPON AS A FINAL SURVEY DOCUMENT. BEING A REPLAT OF LOTS 1 & 2, BLOCK A OF FOX ADDITION, A REPLAT OF LOT 3, BLOCK A OF RICHARD HARRIS NO. 3 ADDITION, ALL OF A TRACT OF LAND DESCRIBED BY DEED TO KEVIN M. LEFERE AND AMANDA HENRY AND ALL OF A CALLED 30 FEET WIDE ALLEY CONTAINING A TOTAL OF 1.124 ACRES

FINAL PLAT FOX-HARRIS ADDITION LOTS 1, 2, 3, & 4, BLOCK A

AND SITUATED IN THE B.F.. BOYSTUN SURVEY, ABSTRACT NO. 14 AN ADDITION TO THE CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS

PROJECT INFORMATION

Project No.: RWL 24372
Date: December 19, 2024
Drawn By: WS
Scale: 1"=40'
SHEET 1 of 1



CASE NO. _____

SURVEYOR

TEAGUE NALL AND PERKINS, INC.
825 Watters Creek Boulevard, Suite M300
Allen, Texas 75013
214.461.9867 ph 214.461.9864 fx
T.B.P.L.S. Registration No. 10194381
www.tnpsc.com

RECOMMENDED FOR FINAL APPROVAL

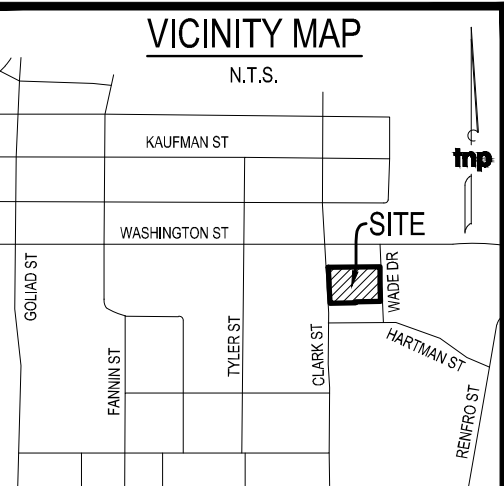
Planning and Zoning Commission _____ Date _____

APPROVED I hereby certify that the above and foregoing plat of LOTS 1, 2, 3, & 4, BLOCK 1, FOX-HARRIS ADDITION, an addition to the City of Rockwall, Texas, was approved by the City Council of the City of Rockwall on the _____ day of _____, 2024.

This approval shall be invalid unless the approved plat for such addition is recorded in the office of the County Clerk of Rockwall County, Texas, within one hundred eighty (180) days from said date of final approval.

WITNESS OUR HANDS, this _____ day of _____, 2024.

Mayor, City of Rockwall _____ City Secretary _____ City Engineer _____





May 29, 2024

TO: Johnathan and Sydney Fox
205 S. Clark Street
Rockwall, Texas 75087

FROM: Ryan Miller, AICP
City of Rockwall Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

SUBJECT: Letter of Intent (LOI) for the Abandonment of the Alleyway between Clark Street and Wade Drive

Mr. and Ms. Fox,

I am writing to you on behalf of the City of Rockwall regarding the abandonment of the alleyway between Clark Street and Wade Drive, which is directly adjacent to your property at 210 Wade Drive. As you may be aware, the City of Rockwall has identified several unimproved or underutilized City rights-of-way within our jurisdiction that provide limited to no public benefit. These rights-of-way have been maintained by the City for decades without plans for future improvement. In some cases, adjacent properties have constructed improvements within these rights-of-way, further complicating their potential use by the City.

On February 5, 2024, the City Council approved a motion to direct staff to proceed with the abandonment of these rights-of-way to the adjacent property owners. Following this action, the City has decided to abandon the alleyway between Clark Street and Wade Drive, and we are pleased to offer you the opportunity to acquire this land at no cost. The abandoned right-of-way encompasses the entire alleyway between Clark Street and Wade Drive. By acquiring this land, you will have the opportunity to expand your property and utilize it according to your needs and preferences. This offer aligns with the City of Rockwall's objective of promoting responsible land use and supporting efficient land utilization within our community.

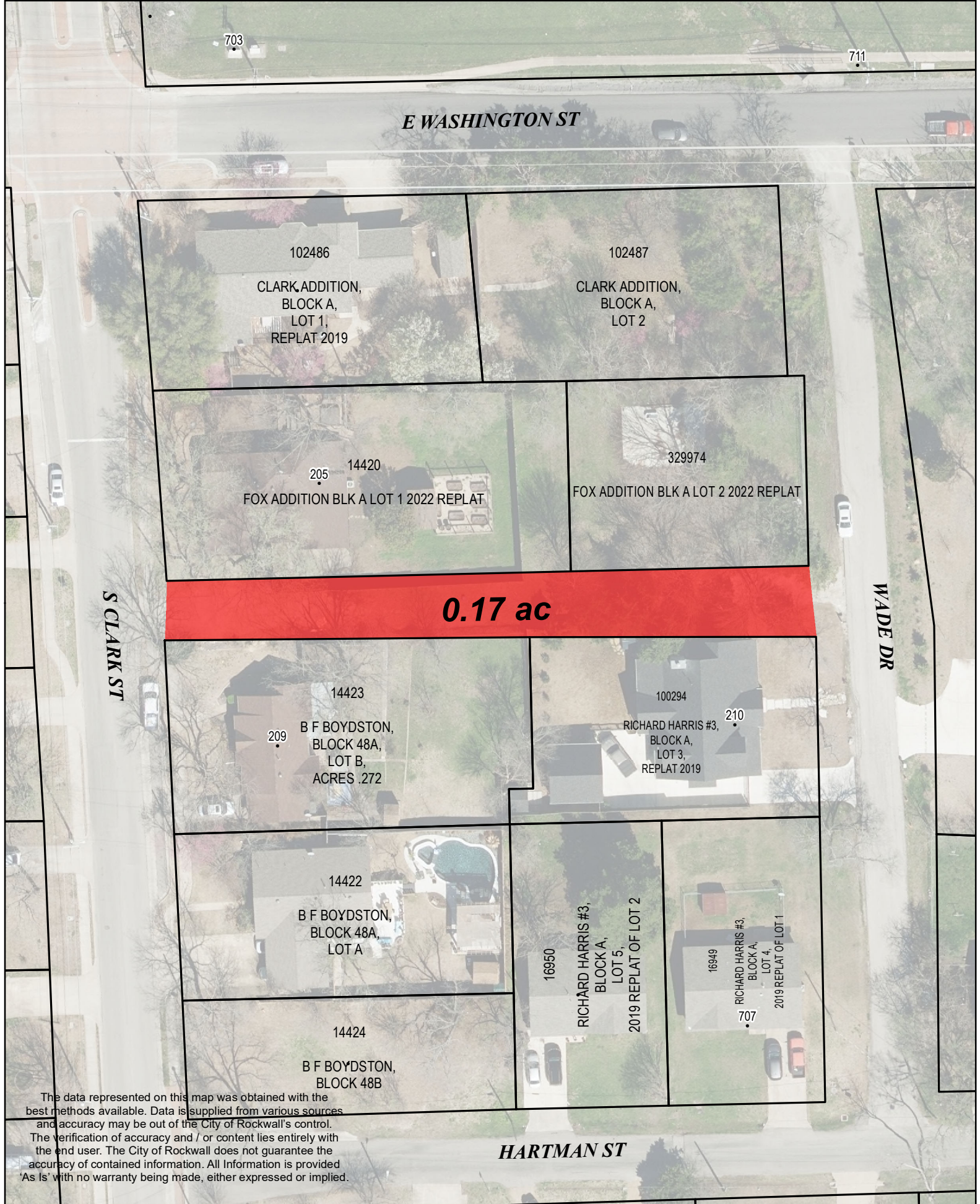
In order to proceed with this transaction, I kindly request your cooperation in signing the attached Letter of Intent (LOI), acknowledging your acceptance of the abandoned right-of-way. Additionally, by signing this letter, you agree to allow the City of Rockwall to file a subdivision plat, which is necessary to accommodate the acquisition of the abandoned land, and you agree to maintain the acquired land. Please note that should you choose not to allow a subdivision plat to be filed after signing this Letter of Intent (LOI), you acknowledge your responsibility for reimbursing the City for any costs associated with the subdivision plat. If you decide not to acquire the abandoned land, please take note that other adjacent property owners will be given the opportunity to acquire the abandoned land.

Please review the attached map, which outlines the details of the abandonment and the terms and conditions of the Letter of Intent (LOI). Please provide all required information back to the Planning and Zoning Department of the City of Rockwall by no later than August 1, 2024 to proceed with the program. If you have any questions or require further clarification, please do not hesitate to contact me by phone at (972) 772-6441 or by email at rmiller@rockwall.com.

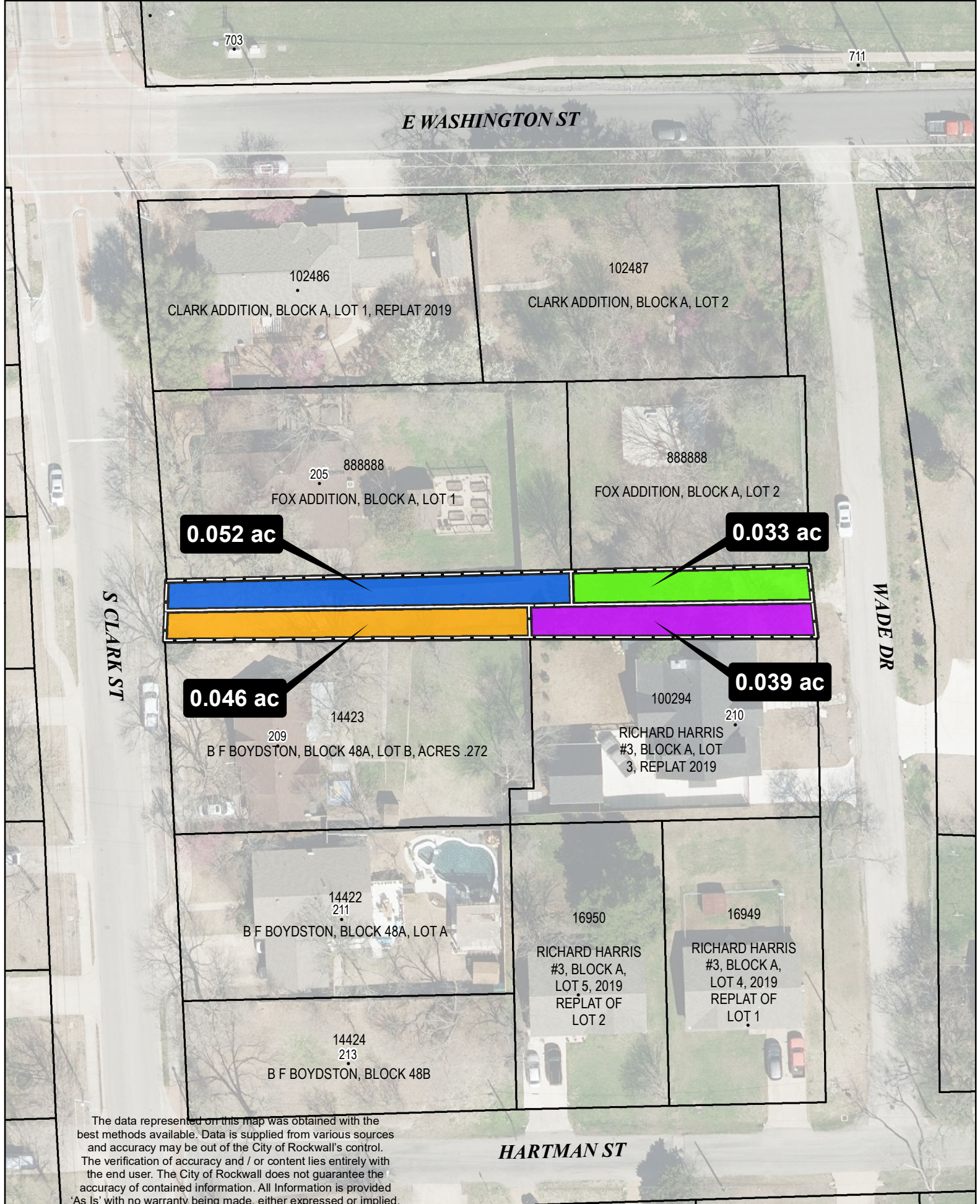
The City of Rockwall appreciates your cooperation and looks forward to working with you to finalize this transaction. Your prompt attention to this matter is greatly appreciated.

Sincerely,

Ryan Miller, AICP
Director of Planning and Zoning



The data represented on this map was obtained with the best methods available. Data is supplied from various sources and accuracy may be out of the City of Rockwall's control. The verification of accuracy and / or content lies entirely with the end user. The City of Rockwall does not guarantee the accuracy of contained information. All Information is provided 'As Is' with no warranty being made, either expressed or implied.



The data represented on this map was obtained with the best methods available. Data is supplied from various sources and accuracy may be out of the City of Rockwall's control. The verification of accuracy and / or content lies entirely with the end user. The City of Rockwall does not guarantee the accuracy of contained information. All Information is provided 'As Is' with no warranty being made, either expressed or implied.

DATE: 7-11-24

TO: Ryan Miller, AICP
City of Rockwall Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

PROPERTY OWNER INFORMATION:

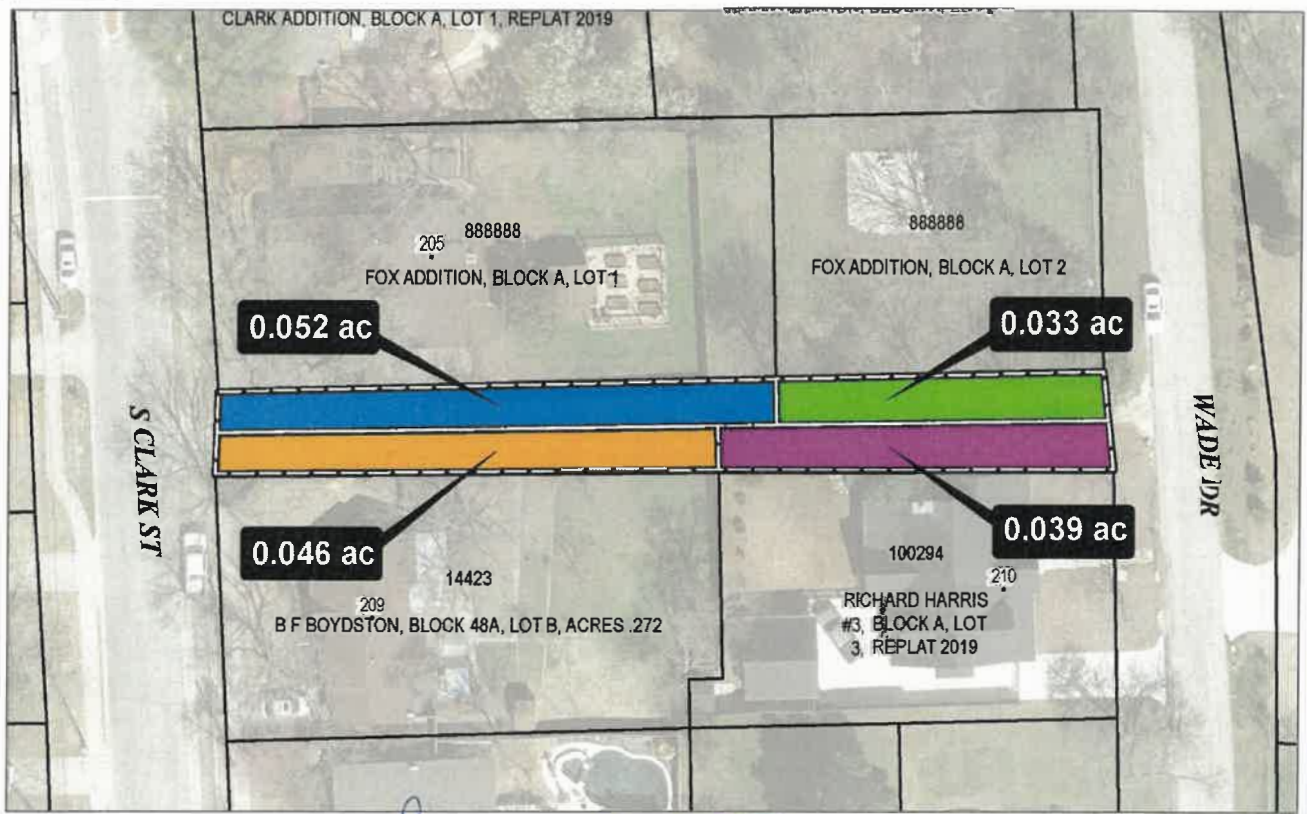
PROPERTY OWNER NAME(S): Jonathan Fox
PROPERTY OWNER ADDRESS: 205 S. Clark St.
Rockwall, Tx 75087

PROPERTY ADDRESS: _____
Rockwall, Texas 75087

SUBJECT: Letter of Intent (LOI) to Accept Abandoned Right-of-Way

This Letter of Intent (LOI) is to express my understanding and acceptance of the City of Rockwall's offer to acquire the land directly adjacent to my property as outlined in *Exhibit 'A'* below. I (we) understand that by accepting this offer, I will have the opportunity to expand and utilize my property in accordance with my needs, preferences, and the requirements of the City of Rockwall. Furthermore, I acknowledge and agree to sign the subdivision plat -- *that will be prepared by and at the cost of the City of Rockwall* -- to facilitate the acquisition of the abandoned right-of-way as depicted in *Exhibit 'A'* below. I am fully aware of the implications of this agreement and acknowledge my responsibility for maintaining the land depicted in *Exhibit 'A'* and reimbursing the City for any costs associated with the subdivision plat in the event that I (we) fail to sign document when necessary to complete the abandonment.

EXHIBIT 'A': PROPOSED DIVISION OF ABANDONED RIGHT-OF-WAY



PROPERTY OWNER'S SIGNATURE: Jonathan Fox
PROPERTY OWNER'S SIGNATURE: _____

DATE: 6/24/14

TO: Ryan Miller, AICP
City of Rockwall Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

PROPERTY OWNER INFORMATION:

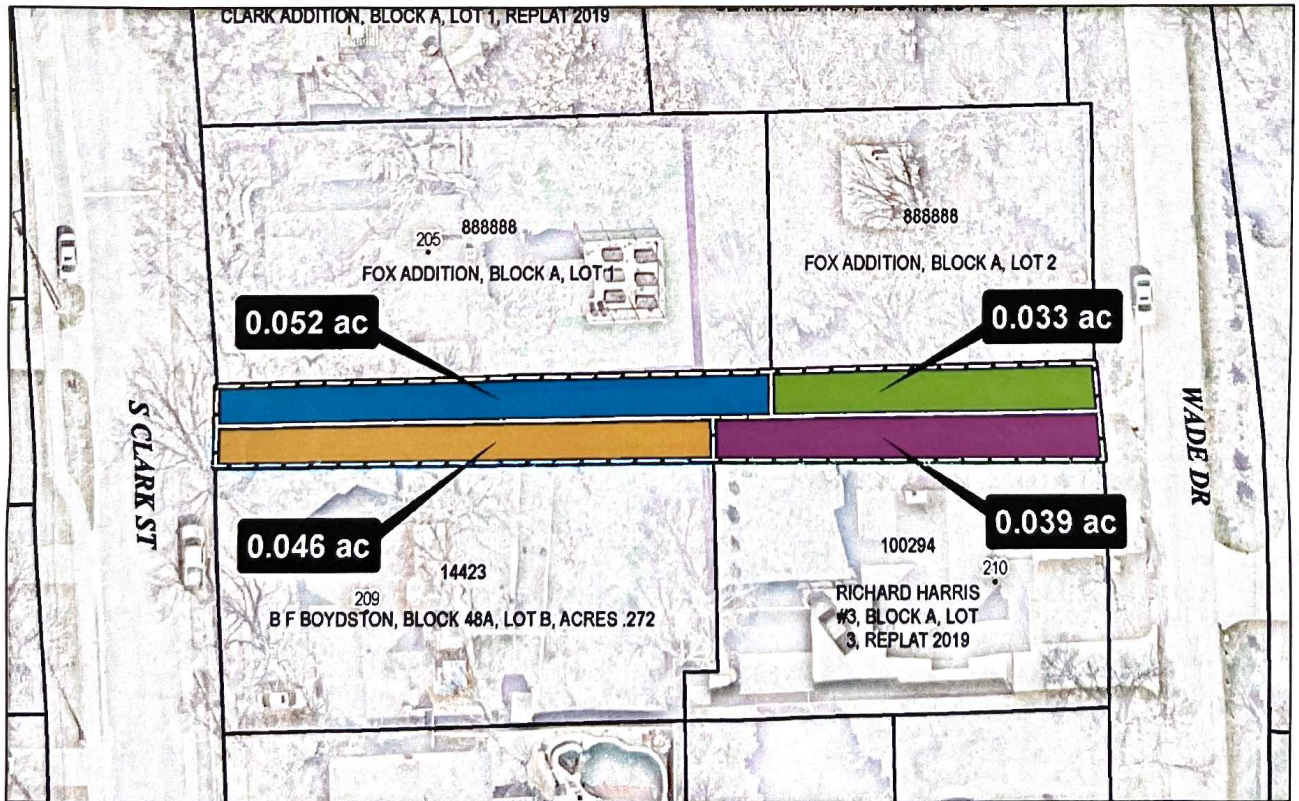
PROPERTY OWNER NAME(S): Kelli + Jessica Walker
PROPERTY OWNER ADDRESS: 206 WADE DRIVE (Fox Addition, Block A lot 2)
Rockwall, TX 75087

PROPERTY ADDRESS: _____
Rockwall, Texas 75087

SUBJECT: Letter of Intent (LOI) to Accept Abandoned Right-of-Way

This Letter of Intent (LOI) is to express my understanding and acceptance of the City of Rockwall's offer to acquire the land directly adjacent to my property as outlined in Exhibit 'A' below. I (we) understand that by accepting this offer, I will have the opportunity to expand and utilize my property in accordance with my needs, preferences, and the requirements of the City of Rockwall. Furthermore, I acknowledge and agree to sign the subdivision plat – that will be prepared by and at the cost of the City of Rockwall – to facilitate the acquisition of the abandoned right-of-way as depicted in Exhibit 'A' below. I am fully aware of the implications of this agreement and acknowledge my responsibility for maintaining the land depicted in Exhibit 'A' and reimbursing the City for any costs associated with the subdivision plat in the event that I (we) fail to sign document when necessary to complete the abandonment.

EXHIBIT 'A': PROPOSED DIVISION OF ABANDONED RIGHT-OF-WAY



PROPERTY OWNER'S SIGNATURE: Kelli Walker
PROPERTY OWNER'S SIGNATURE: J Walker

DATE: 7/11/24

TO: Ryan Miller, AICP
City of Rockwall Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

PROPERTY OWNER INFORMATION:

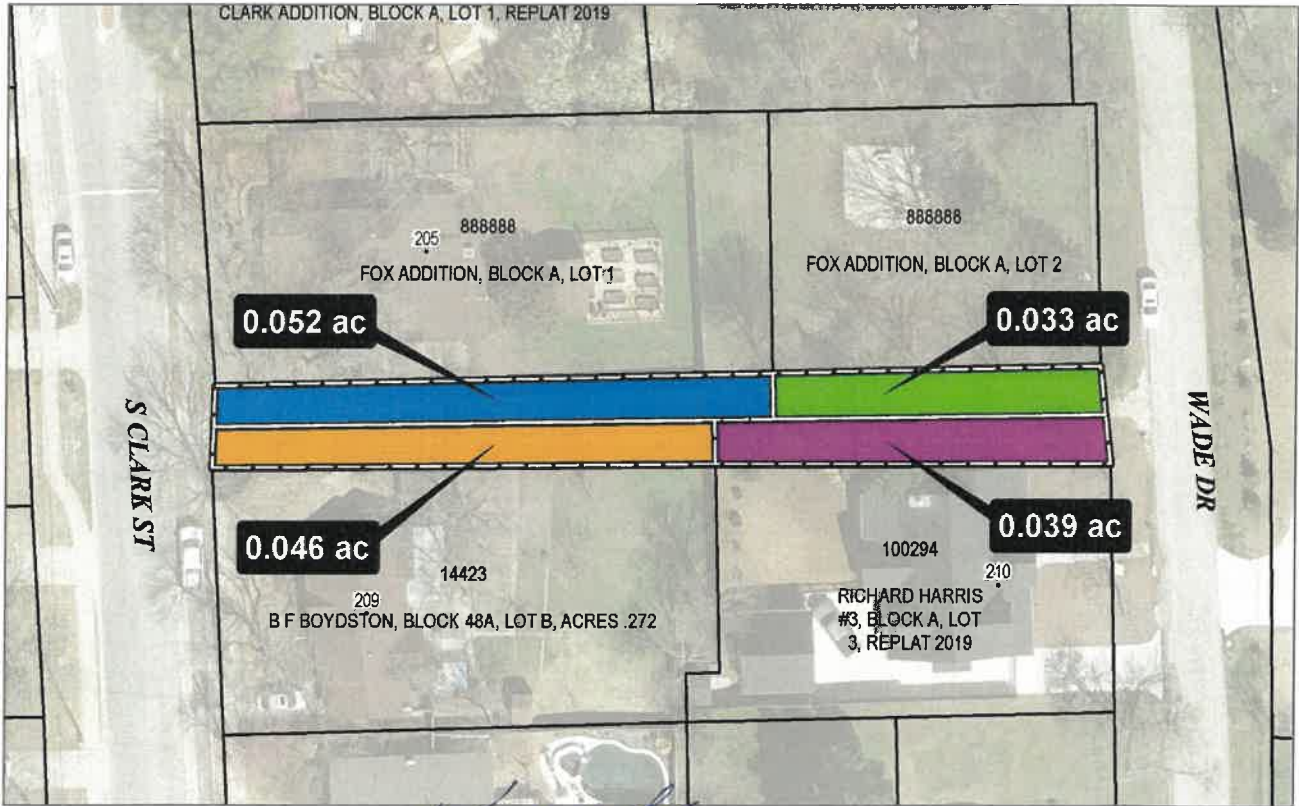
PROPERTY OWNER NAME(S): Kevin Leferre
PROPERTY OWNER ADDRESS: 209 S Clark St.
Rockwall, TX 75087

PROPERTY ADDRESS: _____
Rockwall, Texas 75087

SUBJECT: Letter of Intent (LOI) to Accept Abandoned Right-of-Way

This Letter of Intent (LOI) is to express my understanding and acceptance of the City of Rockwall's offer to acquire the land directly adjacent to my property as outlined in *Exhibit 'A'* below. I (we) understand that by accepting this offer, I will have the opportunity to expand and utilize my property in accordance with my needs, preferences, and the requirements of the City of Rockwall. Furthermore, I acknowledge and agree to sign the subdivision plat -- *that will be prepared by and at the cost of the City of Rockwall* -- to facilitate the acquisition of the abandoned right-of-way as depicted in *Exhibit 'A'* below. I am fully aware of the implications of this agreement and acknowledge my responsibility for maintaining the land depicted in *Exhibit 'A'* and reimbursing the City for any costs associated with the subdivision plat in the event that I (we) fail to sign document when necessary to complete the abandonment.

EXHIBIT 'A': PROPOSED DIVISION OF ABANDONED RIGHT-OF-WAY



PROPERTY OWNER'S SIGNATURE: 

PROPERTY OWNER'S SIGNATURE: _____

DATE: 7-19-24

TO: Ryan Miller, AICP
City of Rockwall Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

PROPERTY OWNER INFORMATION:

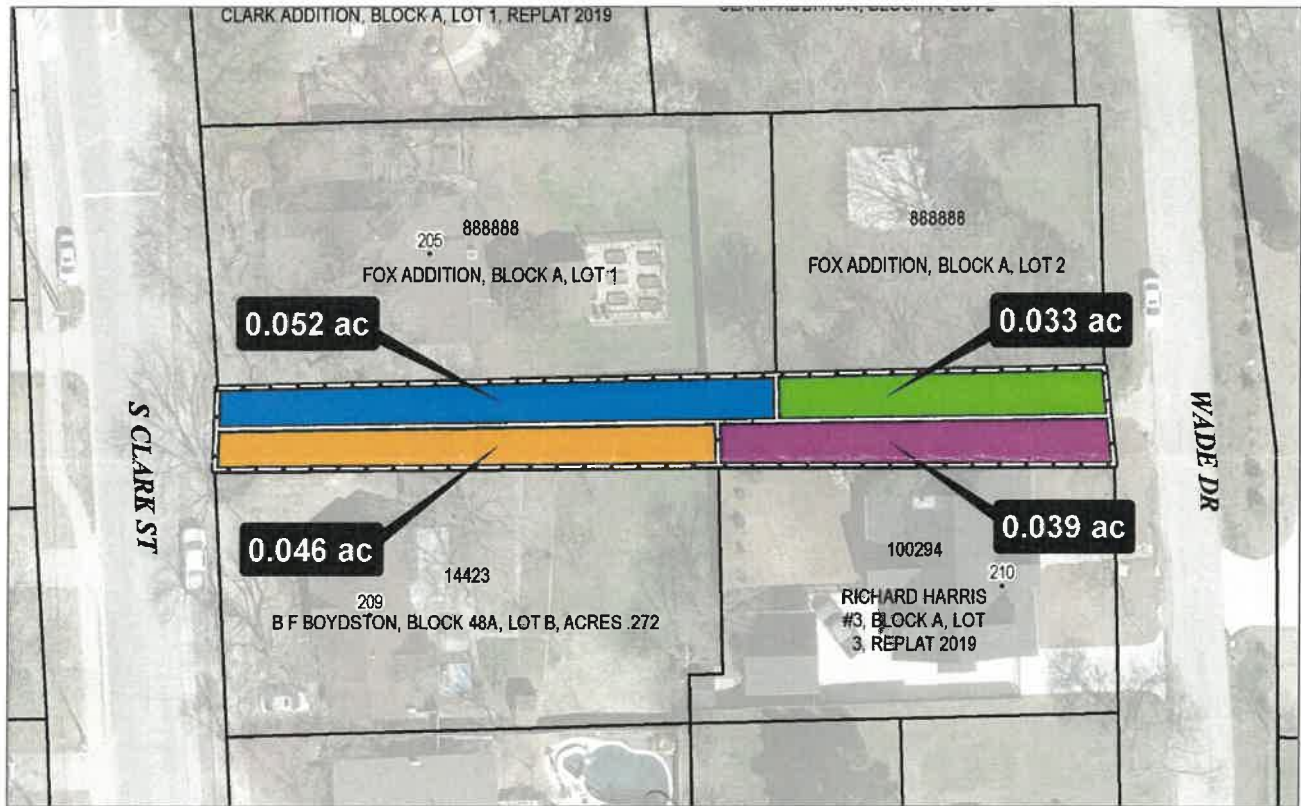
PROPERTY OWNER NAME(S): Rhonda Wells
PROPERTY OWNER ADDRESS: 210 Wade Dr.
Rockwall, TX 75087

PROPERTY ADDRESS: _____
Rockwall, Texas 75087

SUBJECT: Letter of Intent (LOI) to Accept Abandoned Right-of-Way

This Letter of Intent (LOI) is to express my understanding and acceptance of the City of Rockwall's offer to acquire the land directly adjacent to my property as outlined in *Exhibit 'A'* below. I (we) understand that by accepting this offer, I will have the opportunity to expand and utilize my property in accordance with my needs, preferences, and the requirements of the City of Rockwall. Furthermore, I acknowledge and agree to sign the subdivision plat -- *that will be prepared by and at the cost of the City of Rockwall* -- to facilitate the acquisition of the abandoned right-of-way as depicted in *Exhibit 'A'* below. I am fully aware of the implications of this agreement and acknowledge my responsibility for maintaining the land depicted in *Exhibit 'A'* and reimbursing the City for any costs associated with the subdivision plat in the event that I (we) fail to sign document when necessary to complete the abandonment.

EXHIBIT 'A': PROPOSED DIVISION OF ABANDONED RIGHT-OF-WAY



PROPERTY OWNER'S SIGNATURE: Rhonda Wells

PROPERTY OWNER'S SIGNATURE: _____

CITY OF ROCKWALL

ORDINANCE NO. 24-XX

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, CLOSING, ABANDONING AND VACATING A DEDICATED PUBLIC ALLEYWAY MORE SPECIFICALLY DESCRIBED AND DEPICTED IN *EXHIBIT 'A'* OF THIS ORDINANCE AND CONVEYING THE RIGHT-OF-WAY TO THE ADJACENT PROPERTY OWNERS IN THE MANNER DEPICTED IN THIS ORDINANCE; IDENTIFYING A MUNICIPAL PURPOSE; PROVIDING FOR AN EFFECTIVE DATE.

WHEREAS, Subsection 311.007, *Closing of Street or Alley by Home-Rule Municipality*, of Chapter 311, *General Provisions Relating to Municipal Streets*, of the Texas Transportation Code grants a home-rule municipality the powers to vacate, abandon, or close a street or alleyway; and,

WHEREAS, Section 272.001(b) of the Texas Local Government Code provides that land -- *including streets or alleys* -- owned in fee or used by easement by a political subdivision of the state, may be conveyed, sold or exchanged for less than fair market value with one or more of the abutting property owners who own the underlying fee; and,

WHEREAS, the City of Rockwall currently incurs costs annually associated with the maintenance (*i.e. mowing*) of the dedicated public alleyway -- *described and depicted in Exhibit 'A' of this ordinance* -- which is currently unimproved; and,

WHEREAS, the City Council of the City of Rockwall has determined that the dedicated public alleyway -- *described and depicted in Exhibit 'A' of this ordinance* -- is no longer needed for public purposes, and finds that it is in the best interest of the City to convey the alleyway to the adjacent and abutting property owners -- *in the manner depicted in this ordinance*; and,

WHEREAS, with proper notice to the public, a public hearing was held on February 3, 2025 at a meeting of the City Council of the City of Rockwall, during which all interested parties and citizens were allowed to appear and be heard; and,

WHEREAS, the City of Rockwall has determined that it is feasible and advantageous to abandon this City property subject to the terms and conditions set forth below.

NOW, THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS:

SECTION 1. PROPERTY. The *Property* shall be as described and depicted in *Exhibit 'A'* of this ordinance, and shall be incorporated by reference herein.

SECTION 2. QUITCLAIM. Section 272.001(b) of the Texas Local Government Code allows the City the power to convey city-owned property at less than fair market value to the abutting property owners. The Mayor of the City of Rockwall or the City Manager, as the case may be, are authorized to quitclaim the *Property* described in *Section 1* hereof to the abutting property owner upon the approval of this ordinance.

SECTION 3. LIMITATIONS. The abandonment of the *Property* shall extend only to the public right, title and easement in and to the tracts of land described and depicted in *Exhibit 'A'* of this ordinance, and shall be construed only to that interest the governing body of the City may legally and lawfully

abandon.

SECTION 4. MUNICIPAL PURPOSE. The *Property* described in *Section 1*, save and except the municipal utility easements located thereon, is no longer needed for municipal purposes and it is in the public interest of the City, to abandon said described portions of the right-of-way as depicted in *Exhibit 'A'* to the adjacent and abutting property owners.

SECTION 5. SCOPE. That the abandonment provided for herein shall extend only to the public right, title and easement in and to the tracts of land described in *Section 1* of this ordinance, and shall be construed only to that interest the governing body of the City of Rockwall may legally and lawfully abandon.

SECTION 6. EXCEPTIONS. In addition to the express reservations provided for in *Section 1* hereof, the conveyance is made subject to any and all valid, conditions, easements, restrictions and the like, whether record or not in the real property records of Rockwall County Texas.

SECTION 7. INCORPORATION OF RECITALS. The City Council finds the recitals contained in the preamble to this *Ordinance* are true and correct and incorporates them as findings of fact.

SECTION 8. SAVINGS CLAUSE. If any section or provision of this ordinance or the application of that section or provision to any person, firm, corporation, situation or circumstance is for any reason judged invalid, the adjudication shall not affect any other section or provision of this ordinance or the application of any other section or provision to any other person, firm, corporation, situation or circumstance, and the City Council declares that it would have adopted the valid portions and applications of the ordinance without the invalid parts and to this end the provisions of this ordinance shall remain in full force and effect.

SECTION 9. REPEALING ORDINANCES IN CONFLICT. All ordinances or parts of ordinances in conflict herewith are hereby repealed to the extent of such conflict.

SECTION 10. EFFECTIVE DATE. This *Ordinance* shall be effective immediately following its passage and approval by the City Council.

PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, THIS THE 18TH DAY OF FEBRUARY, 2025.

Trace Johannessen, *Mayor*

ATTEST:

Kristy Teague, *City Secretary*

APPROVED AS TO FORM:

Frank J. Garza, *City Attorney*

1st Reading: February 3, 2025

2nd Reading: February 18, 2025

DRAFT
ORDINANCE
07.28.2025

QUITCLAIM

NOTICE OF CONFIDENTIALITY RIGHTS: IF YOU ARE A NATURAL PERSON, YOU MAY REMOVE OR STRIKE ANY OR ALL OF THE FOLLOWING INFORMATION FROM ANY INSTRUMENT THAT TRANSFERS AN INTEREST IN REAL PROPERTY BEFORE IT IS FILED FOR RECORD IN THE PUBLIC RECORDS: YOUR SOCIAL SECURITY NUMBER OR YOUR DRIVER'S LICENSE NUMBER.

Date: _____, 2025

Grantor: **CITY OF ROCKWALL,**
a Texas Municipal Corporation

Grantor's Mailing Address:

City of Rockwall
385 S. Goliad Street
Rockwall, Rockwall County, Texas 75087

Grantee: Johnathan Fox

Grantee's Mailing Address:

Johnathan Fox
205 S. Clark Street
Rockwall, Texas 75087

Consideration: Ten and No/100 (\$10.00) Dollars and other good and valuable consideration, the receipt and sufficiency of which is hereby acknowledged

Property (including any improvements):

Being a **~0.052-acre tract of land** situated in the B.F. Boydston Survey, Abstract No. 14, City of Rockwall, Rockwall County, Texas; said **~0.052-acre tract of land** being described as a portion of Lot 1, Block A, Fox-Harris Addition as depicted in *Exhibit 'A'* of this document, which is adding to Lot 1, Block A, Fox Addition that was established by *Instrument No. 20220000021655* of the Real Property Records of Rockwall County, Texas.

For the Consideration, Grantor quitclaims to Grantee all of Grantor's right, title, and interest in and to the Property, to have and to hold it to Grantee and Grantee's successors, and assigns forever. Neither Grantor nor Grantor's successors, or assigns will have, claim, or demand any right or title to the Property or any part of it.

When the context requires, singular nouns and pronouns include the plural.

CITY OF ROCKWALL,
a Texas municipal corporation

By: _____
Trace Johannesen, *Mayor*

ACKNOWLEDGMENT

STATE OF TEXAS

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COUNTY OF ROCKWALL

Before me on this _____ day of _____, 2025 personally appeared, Mayor known to me to be the person whose name is subscribed to the foregoing instrument and acknowledged to me that he executed the same as the act of the City of Rockwall, a Texas municipal corporation, as its Mayor, for the purposes and consideration therein expressed.

Notary Public, State of Texas

AFTER RECORDING PLEASE RETURN TO:

Ryan Miller, Director of Planning and Zoning
City of Rockwall
385 S. Goliad Street
Rockwall, Texas 75087

QUITCLAIM

NOTICE OF CONFIDENTIALITY RIGHTS: IF YOU ARE A NATURAL PERSON, YOU MAY REMOVE OR STRIKE ANY OR ALL OF THE FOLLOWING INFORMATION FROM ANY INSTRUMENT THAT TRANSFERS AN INTEREST IN REAL PROPERTY BEFORE IT IS FILED FOR RECORD IN THE PUBLIC RECORDS: YOUR SOCIAL SECURITY NUMBER OR YOUR DRIVER'S LICENSE NUMBER.

Date: _____, 2025

Grantor: **CITY OF ROCKWALL,**
a Texas Municipal Corporation

Grantor's Mailing Address:

City of Rockwall
385 S. Goliad Street
Rockwall, Rockwall County, Texas 75087

Grantee: Kelli and Jessica Walker

Grantee's Mailing Address:

Kelli and Jessica Walker
206 Wade Drive
Rockwall, Texas 75087

Consideration: Ten and No/100 (\$10.00) Dollars and other good and valuable consideration, the receipt and sufficiency of which is hereby acknowledged

Property (including any improvements):

Being a **~0.033-acre tract of land** situated in the B.F. Boydston Survey, Abstract No. 14, City of Rockwall, Rockwall County, Texas; said **~0.033-acre tract of land** being described as a portion of Lot 2, Block A, Fox-Harris Addition as depicted in *Exhibit 'A'* of this document, which is adding to Lot 2, Block A, Fox Addition that was established by *Instrument No. 20220000021655* of the Real Property Records of Rockwall County, Texas.

For the Consideration, Grantor quitclaims to Grantee all of Grantor's right, title, and interest in and to the Property, to have and to hold it to Grantee and Grantee's successors, and assigns forever. Neither Grantor nor Grantor's successors, or assigns will have, claim, or demand any right or title to the Property or any part of it.

When the context requires, singular nouns and pronouns include the plural.

CITY OF ROCKWALL,
a Texas municipal corporation

By: _____
Trace Johannesen, *Mayor*

ACKNOWLEDGMENT

STATE OF TEXAS

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COUNTY OF ROCKWALL

Before me on this _____ day of _____, 2025 personally appeared, Mayor known to me to be the person whose name is subscribed to the foregoing instrument and acknowledged to me that he executed the same as the act of the City of Rockwall, a Texas municipal corporation, as its Mayor, for the purposes and consideration therein expressed.

Notary Public, State of Texas

AFTER RECORDING PLEASE RETURN TO:

Ryan Miller, Director of Planning and Zoning
City of Rockwall
385 S. Goliad Street
Rockwall, Texas 75087

QUITCLAIM

NOTICE OF CONFIDENTIALITY RIGHTS: IF YOU ARE A NATURAL PERSON, YOU MAY REMOVE OR STRIKE ANY OR ALL OF THE FOLLOWING INFORMATION FROM ANY INSTRUMENT THAT TRANSFERS AN INTEREST IN REAL PROPERTY BEFORE IT IS FILED FOR RECORD IN THE PUBLIC RECORDS: YOUR SOCIAL SECURITY NUMBER OR YOUR DRIVER'S LICENSE NUMBER.

Date: _____, 2025

Grantor: **CITY OF ROCKWALL,**
a Texas Municipal Corporation

Grantor's Mailing Address:

City of Rockwall
385 S. Goliad Street
Rockwall, Rockwall County, Texas 75087

Grantee: Kevin Lefere and Amanda Henry

Grantee's Mailing Address:

Kevin Lefere and Amanda Henry
209 S. Clark Street
Rockwall, Texas 75087

Consideration: Ten and No/100 (\$10.00) Dollars and other good and valuable consideration, the receipt and sufficiency of which is hereby acknowledged

Property (including any improvements):

Being a **~0.046-acre tract of land** situated in the B.F. Boydston Survey, Abstract No. 14, City of Rockwall, Rockwall County, Texas; said **~0.046-acre tract of land** being described as a portion of Lot 4, Block A, Fox-Harris Addition as depicted in *Exhibit 'A'* of this document, which is adding to Lot B, Block 48A, B. F. Boydston Addition that is delineated by *Instrument No. 20150000005591* of the Real Property Records of Rockwall County, Texas.

For the Consideration, Grantor quitclaims to Grantee all of Grantor's right, title, and interest in and to the Property, to have and to hold it to Grantee and Grantee's successors, and assigns forever. Neither Grantor nor Grantor's successors, or assigns will have, claim, or demand any right or title to the Property or any part of it.

When the context requires, singular nouns and pronouns include the plural.

CITY OF ROCKWALL,
a Texas municipal corporation

By: _____
Trace Johannesen, *Mayor*

ACKNOWLEDGMENT

STATE OF TEXAS

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COUNTY OF ROCKWALL

Before me on this _____ day of _____ 2025 personally appeared, Mayor known to me to be the person whose name is subscribed to the foregoing instrument and acknowledged to me that he executed the same as the act of the City of Rockwall, a Texas municipal corporation, as its Mayor, for the purposes and consideration therein expressed.

Notary Public, State of Texas

AFTER RECORDING PLEASE RETURN TO:

Ryan Miller, Director of Planning and Zoning
City of Rockwall
385 S. Goliad Street
Rockwall, Texas 75087

QUITCLAIM

NOTICE OF CONFIDENTIALITY RIGHTS: IF YOU ARE A NATURAL PERSON, YOU MAY REMOVE OR STRIKE ANY OR ALL OF THE FOLLOWING INFORMATION FROM ANY INSTRUMENT THAT TRANSFERS AN INTEREST IN REAL PROPERTY BEFORE IT IS FILED FOR RECORD IN THE PUBLIC RECORDS: YOUR SOCIAL SECURITY NUMBER OR YOUR DRIVER'S LICENSE NUMBER.

Date: _____, 2025

Grantor: **CITY OF ROCKWALL,**
a Texas Municipal Corporation

Grantor's Mailing Address:

City of Rockwall
385 S. Goliad Street
Rockwall, Rockwall County, Texas 75087

Grantee: Rhonda Wells

Grantee's Mailing Address:

Rhonda Wells
210 Wade Drive
Rockwall, Texas 75087

Consideration: Ten and No/100 (\$10.00) Dollars and other good and valuable consideration, the receipt and sufficiency of which is hereby acknowledged

Property (including any improvements):

Being a **~0.039-acre tract of land** situated in the B.F. Boydston Survey, Abstract No. 14, City of Rockwall, Rockwall County, Texas; said **~0.039-acre tract of land** being described as a portion of Lot 3, Block A, Fox-Harris Addition as depicted in *Exhibit 'A'* of this document, which is adding to Lot 3 of the Richard Harris Subdivision No. 3 Addition that was established by *Instrument No. 20190000009339* of the Real Property Records of Rockwall County, Texas.

For the Consideration, Grantor quitclaims to Grantee all of Grantor's right, title, and interest in and to the Property, to have and to hold it to Grantee and Grantee's successors, and assigns forever. Neither Grantor nor Grantor's successors, or assigns will have, claim, or demand any right or title to the Property or any part of it.

When the context requires, singular nouns and pronouns include the plural.

CITY OF ROCKWALL,
a Texas municipal corporation

By: _____
Trace Johannesen, *Mayor*

ACKNOWLEDGMENT

STATE OF TEXAS

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COUNTY OF ROCKWALL

Before me on this _____ day of _____, 2025 personally appeared, Mayor known to me to be the person whose name is subscribed to the foregoing instrument and acknowledged to me that he executed the same as the act of the City of Rockwall, a Texas municipal corporation, as its Mayor, for the purposes and consideration therein expressed.

Notary Public, State of Texas

AFTER RECORDING PLEASE RETURN TO:

Ryan Miller, Director of Planning and Zoning
City of Rockwall
385 S. Goliad Street
Rockwall, Texas 75087



CITY OF ROCKWALL

PLANNING AND ZONING COMMISSION MEMORANDUM

PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM

TO: Planning and Zoning Commission
FROM: Bethany Ross, *Planner*
DATE: January 28, 2025
SUBJECT: SP2025-001; *Amended Site Plan for Advantage Storage*

The applicant, Brian Baca of ADV Rockwall John King Property Owner, LLC, is requesting the approval of an Amended Site Plan to update the landscape plan for a previously approved Mini Warehouse Facility [*i.e. Case No. SP2022-044*] and its subsequent amendment [*i.e. Case No. SP2022-062*]. The subject property is a 7.154-acre parcel of land (*i.e. Lot 1, Block 1, Cambridge Estates*), zoned Planned Development District 10 (PD-10) for Commercial (C) District land uses, and situated within the SH-205 Overlay (SH-205 OV) District and the SH-276 Overlay (SH- 276 OV) District. The subject property is generally located at the southeast corner of the intersection of John King Boulevard and Discovery Boulevard. On September 13, 2022, the Planning and Zoning Commission approved the original site plan [*i.e. Case No. SP2022-044*] for the construction of a *Mini-Warehouse Facility (i.e. Advantage Storage)* on the subject property. As part of this approval, the Planning and Zoning Commission approved variances to the building design standards that included: [1] a variance to the *Primary and Secondary* building materials and masonry composition, [2] a variance to the minimum the stone requirements, [3] a variance to the four (4) sided architecture requirements, and [4] a variance to the roof design standards. In addition, the City Council approved exceptions to the conditional land use standards for the *Mini-Warehouse* land use on September 19, 2022, that included: [1] an exception to the maximum number of *Mini-Warehouse* units permitted per acre, [2] an exception to the maximum building height, and [3] an exception to the roof design standards for a *Mini-Warehouse Facility*. On January 10, 2023, the Planning and Zoning Commission approved an Amended Site Plan [*i.e. Case No. SP2022-062*], which allowed for an increase in the variance to the minimum stone requirements. Following these approvals, the applicant submitted civil engineering plans, a final plat, and a building permit for the proposed *Mini-Warehouse Facility*, and the project is currently under construction. On January 17, 2025, the applicant -- *Brian Baca* -- submitted an application requesting to update the landscape plan due to issues raised by Atmos concerning the plantings proposed within the 50-foot Atmos easement on the south side of the property adjacent to SH-276.

The updated landscape plan proposes small to mid-sized shrubbery and an 18"-24" undulating berm. According to Subsection 06.02(E)(1), of Article 05, of the *General Overlay District Development Standards* of the *Unified Development Code (UDC)*, "(a)ll landscape buffers shall incorporate ground cover, a built-up berm and shrubbery or a combination thereof along the entire length of the frontage. Berms and shrubbery shall each have a minimum height of 30-inches and a maximum height of 48- inches. In addition, two (2) canopy trees and four (4) accent trees shall be planted per 100-feet of linear frontage along the Primary Roadway..." In this case, the applicant is requesting a variance to these requirements along SH-276. Specifically, the applicant is [1] proposing a berm that does not meet the minimum requirements, [2] proposing to remove all canopy trees, and [3] proposing to remove all accent trees. Staff should note, that in the original Site Plan case, the applicant proposed compensatory measures to off-set the requested (*above mentioned*) variances. These included: [1] *additional shrubs along SH-276*, [2] additional shrubs along *Building A*, [3] additional shrubs along *Building D*, [4] additional shrubs along John King Boulevard, [5] using more than the required 20% stone on ten (10) out of the 16 facades focusing on the facades facing the public rights-of-way, [6] 16.80% over the required landscape area, [7] more than required canopy trees in the landscape buffer along John King Boulevard, [8] *more than the required canopy trees along SH-276*, [9] *more than the required accent trees along SH-276*, [10] extra trees along the detention area. As noted in the original Site Plan case memo, some of these compensatory measures were associated with requirements of the Overlay Districts and were not truly compensatory measures. In addition, based on the applicant's current request three (3) of these compensatory measures (*i.e. the ones underlined and italicized above*) would be going away with the current request. Staff should also note, that the Planning and Zoning Commission approved an amended site plan (*i.e. SP2022-062*) -- *as outlined above* -- for material changes to the building. As compensatory measures for this case, the applicant proposed: [1] *adding large shrubs along SH-276*, [2] adding shrubs along the front of *Building A*, and [3] *having 37% landscaping in lieu of the required 20%*. In this case the proposed request would change or remove two (2) of the three (3) compensatory measures associated with this case. With regard to the current case, the applicant is not proposing any

additional compensatory measures and would be removing five (5) of the 13 compensatory measures associated with previous variance approvals.

According to Subsection 09.01, *Exceptions to the General Standards*, of Article 11, *Development Applications and Review Procedures*, of the Unified Development Code (UDC), "...an applicant may request the Planning and Zoning Commission grant an exception to the provisions contained in the Unified Development Code (UDC), where unique or extraordinary conditions exist or where strict adherence to the technical requirements of the Unified Development Code (UDC) would create an undue hardship." In addition, the code requires that applicant provide compensatory measures that directly offset the requested exception. In this case, the applicant is not providing any compensatory measures to offset the requested variances to the *General Overlay District Standards* and is effectively removing five (5) of the previously provided compensatory measures with this request. Staff should also note, that the 50-foot Atmos easement was in existence prior to the applicant submitting the site plan, was depicted in the applicant's original site plan and landscape plan, and was not accounted for by the applicant in planning these landscape areas. With this being said, the applicant will need to make changes to accommodate Atmos' requirements; however, the applicant failed to account for the requirements with the original Site Plan, is removing items used to secure variances with the previous approvals, and is not proposing to provide any additional off-setting measures. Based on this, the applicant's request does not appear to be in conformance with the requirements of the Unified Development Code (UDC); however, variances to the *General Overlay District Standards* are a discretionary decision for the Planning and Zoning Commission and require a supermajority vote (*i.e. a three-fourths vote of those members present*), with a minimum of four (4) votes in the affirmative required for approval. Should the Planning and Zoning Commission have any questions concerning the applicant's request, staff and the applicant will be available at the January 28, 2025 Planning and Zoning Commission meeting.



DEVELOPMENT APPLICATION

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING & ZONING CASE NO. _____

NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING: _____

CITY ENGINEER: _____

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST [SELECT ONLY ONE BOX]:

PLATTING APPLICATION FEES:

- MASTER PLAT (\$100.00 + \$15.00 ACRE) ¹
- PRELIMINARY PLAT (\$200.00 + \$15.00 ACRE) ¹
- FINAL PLAT (\$300.00 + \$20.00 ACRE) ¹
- REPLAT (\$300.00 + \$20.00 ACRE) ¹
- AMENDING OR MINOR PLAT (\$150.00)
- PLAT REINSTATEMENT REQUEST (\$100.00)

SITE PLAN APPLICATION FEES:

- SITE PLAN (\$250.00 + \$20.00 ACRE) ¹
- AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING PLAN (\$100.00)

ZONING APPLICATION FEES:

- ZONING CHANGE (\$200.00 + \$15.00 ACRE) ¹
- SPECIFIC USE PERMIT (\$200.00 + \$15.00 ACRE) ^{1&2}
- PD DEVELOPMENT PLANS (\$200.00 + \$15.00 ACRE) ¹

OTHER APPLICATION FEES:

- TREE REMOVAL (\$75.00)
- VARIANCE REQUEST/SPECIAL EXCEPTIONS (\$100.00) ²

NOTES:

¹: IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE.

²: A **\$1,000.00** FEE WILL BE ADDED TO THE APPLICATION FEE FOR ANY REQUEST THAT INVOLVES CONSTRUCTION WITHOUT OR NOT IN COMPLIANCE TO AN APPROVED BUILDING PERMIT.

PROPERTY INFORMATION [PLEASE PRINT]

ADDRESS **NE CORNER JOHN KING BLVD & SH 276**

SUBDIVISION **CAMBRIDGE ESTATES**

LOT **1**

BLOCK **1**

GENERAL LOCATION **NE CORNER JOHN KING BLVD & SH 276**

ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

CURRENT ZONING **PD10 HIGHWAY OVERLAY**

CURRENT USE **UNDER CONSTRUCTION**

PROPOSED ZONING **PD10 HIGHWAY OVERLAY**

PROPOSED USE **MINI STORAGE**

ACREAGE **3.682**

LOTS [CURRENT] **1**

LOTS [PROPOSED] **1**

- SITE PLANS AND PLATS:** BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB3167 THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.

OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

OWNER **ADV Rockwall John King Property Owner LLC**

APPLICANT **SAME**

CONTACT PERSON **BRIAN BACA**

CONTACT PERSON _____

ADDRESS **2221 Lakeside Blvd. Suite 1260**

ADDRESS _____

CITY, STATE & ZIP **Richardson, TX 75082**

CITY, STATE & ZIP _____

PHONE **214-308-5225**

PHONE _____

E-MAIL **bbaca@advconstruction.net**

E-MAIL _____

NOTARY VERIFICATION [REQUIRED]

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED _____ [OWNER] THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING:

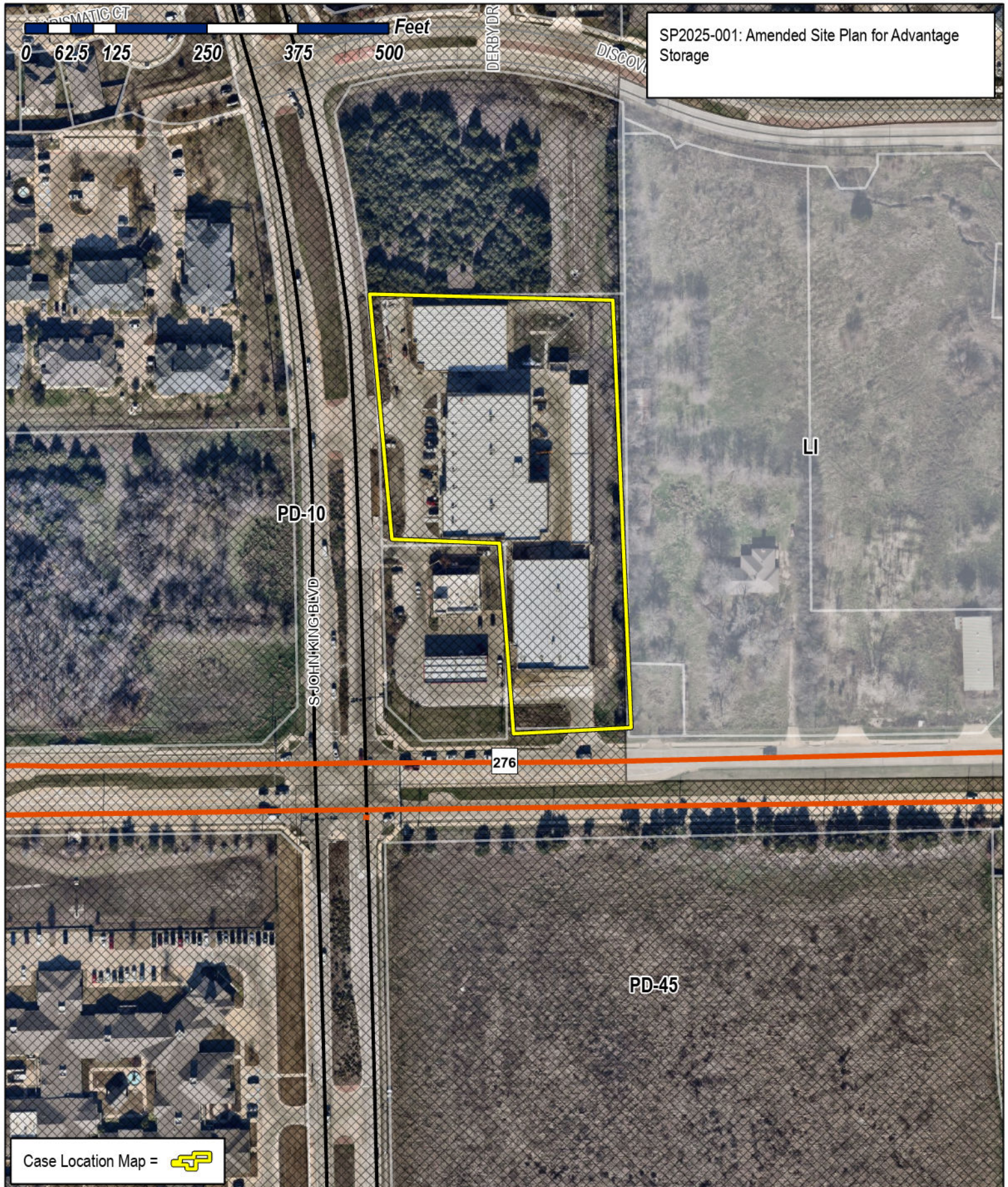
"I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION; ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT; AND THE APPLICATION FEE OF \$ 100.00, TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS THE 21 ST DAY OF JANUARY, 20 25. BY SIGNING THIS APPLICATION, I AGREE THAT THE CITY OF ROCKWALL (I.E. "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE ANY COPYRIGHTED INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR PUBLIC INFORMATION."

GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE 21 ST DAY OF JANUARY, 20 25.

OWNER'S SIGNATURE _____

NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS _____

MY COMMISSION EXPIRES _____



SP2025-001: Amended Site Plan for Advantage Storage

Case Location Map = 

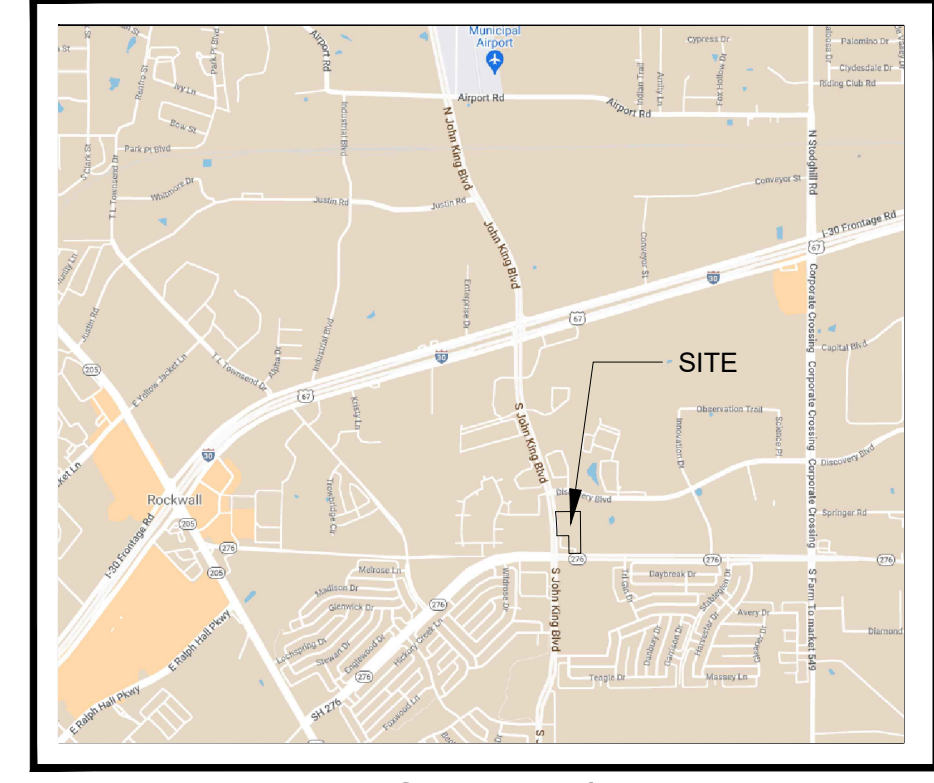
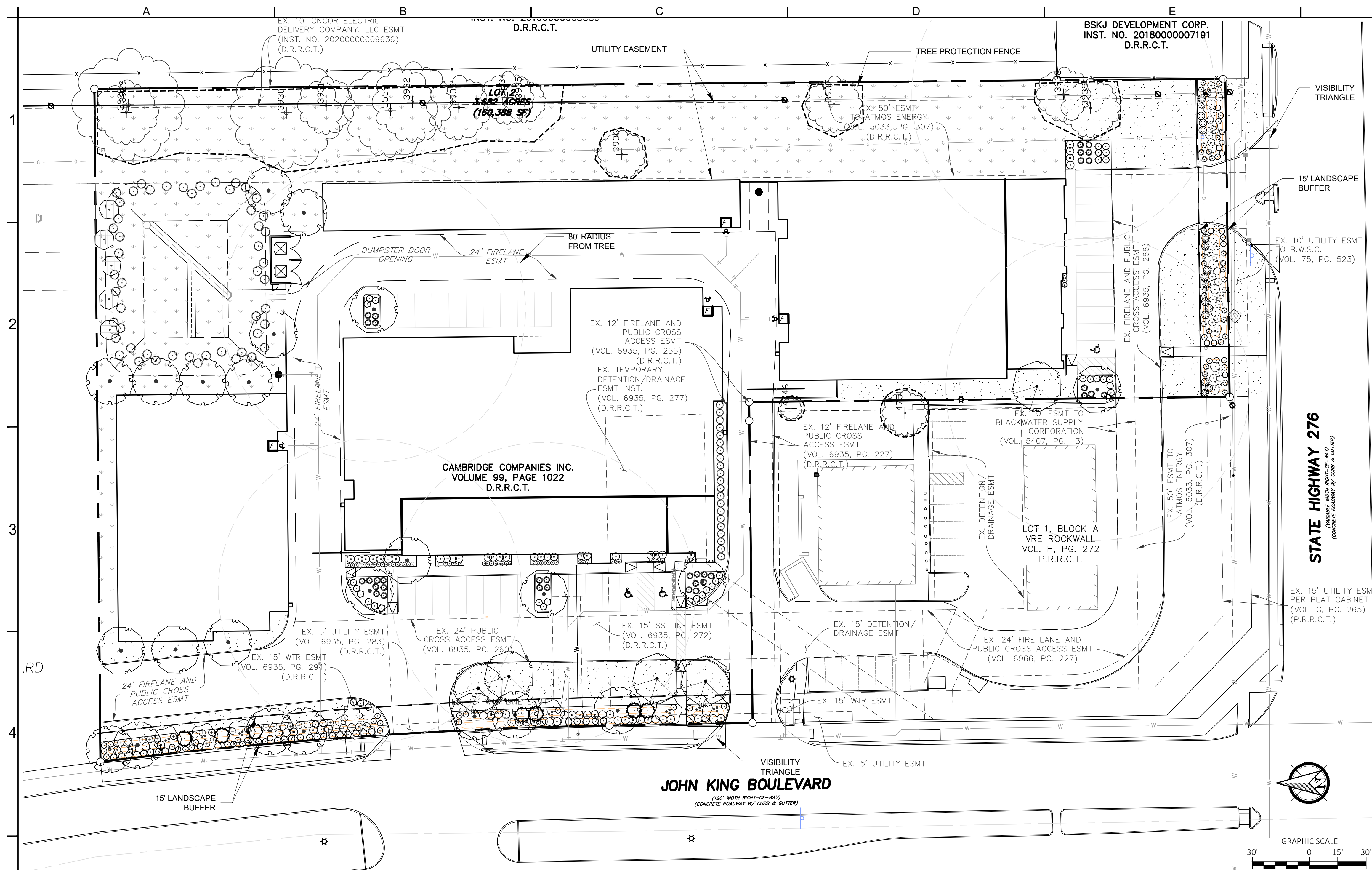


City of Rockwall

Planning & Zoning Department
 385 S. Goliad Street
 Rockwall, Texas 75087
 (P): (972) 771-7745
 (W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.

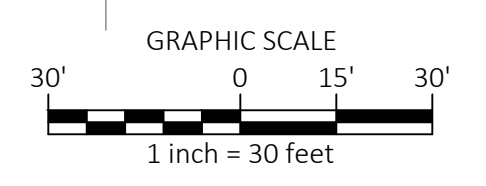




VICINITY MAP
(NOT TO SCALE)

PLANT SCHEDULE

CANOPY TREES	QTY	BOTANICAL / COMMON NAME	CAL	SIZE
	5	ACER RUBRUM 'OCTOBER GLORY' OCTOBER GLORY MAPLE	4" CAL	14'-16" HT
	13	QUERCUS MUEHLENBERGIA CHINOJAPIN OAK	4" CAL	14'-16" HT
	10	ULMUS CRASSIFOLIA CEDAR ELM	4" CAL	16'-18" HT
*12 CANOPY TREES TO BE USED FOR MITIGATION. ALL CANOPY TREES MUST BE 4" CAL.				
ACCENT TREES	QTY	BOTANICAL / COMMON NAME	CAL	SIZE
	7	CERCIS CANADENSIS EASTERN REDBUD 3-5 STEMS	3" CAL 1" / STEM	4' -6" HT
	7	ILEX DECIDUA POSSUM HAW 3-5 STEMS	3" CAL 1" / STEM	4' -6" HT
LARGE SHRUBS	QTY	BOTANICAL / COMMON NAME	CONT	
	5	RHUS VIRENS V. VIRENS EVERGREEN SUMAC	10 GAL	4'-6" HT
	10	TAXUS CLUSPIDATA SPREADING YEW	10 GAL	3'-5" HT
MEDIUM SHRUBS	QTY	BOTANICAL / COMMON NAME	CONT	
	81	ILEX CORNUTA 'BURFORDII NANA' DWARF BURFORD HOLLY	5 GAL	
	23	LOROPETALUM CHINENSE 'PURPLE DAYDREAM' DWARF FRINGEFLOWER	5 GAL	
	24	ILEX VOMITORIA 'NANA' DWARF YAUPON HOLLY	5 GAL	
	16	NANDINA DOMESTICA 'HARBOUR DWARF' HARBOUR DWARF NANDINA	5 GAL	
SMALL SHRUBS	QTY	BOTANICAL / COMMON NAME	CONT	
	49	BERBERIS THUN. 'CRIMSON PYGMY' CRIMSON PYGMY BARBERRY	5 GAL	
	34	HESPERALOE PARVIFLORA RED YUCCA	3 GAL	
	63	LANTANA X 'NEW GOLD' NEW GOLD LANTANA	5 GAL	
	32	LANTANA MONTEVIDENSIS CREEPING LANTANA	5 GAL	
ORNAMENTAL GRASSES	QTY	BOTANICAL / COMMON NAME	CONT	
	51	MUEHLENBERGIA RIGENS DEER GRASS	5 GAL	
GROUND COVER	QTY	BOTANICAL / COMMON NAME	CONT	
	13,630 SF	CYNODON 'TIF-TUF' TIF-TUF HYBRID BERMUDA GRASS	SOD	
	38,300 SF	BLACKLAND PRAIRIE SEED MIX NATIVE AMERICAN SEED (SEEDSOURCE.COM)	HYDROSEED	



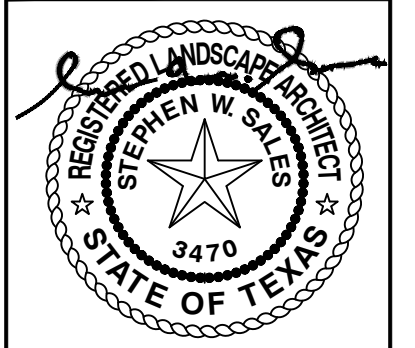
LANDSCAPE STANDARDS	
05.01 LANDSCAPE BUFFERS - NON-RESIDENTIAL REQ. ABUTTING A PUBLIC RIGHT-OF-WAY:	15' WIDE BUFFER REQ. W/ 2 CANOPY + 4 ACCENT TREE PER 100 LIN. FT. OF FRONTAGE. GROUND COVER, BUILT-UP BERM AND SHRUBBERY ALONG ENTIRE FRONTAGE, 30" HIGH, MIN. - 48" MAX. HT.
JOHN KING BLVD.: REQUIRED PLANTING: PROVIDED 15' BUFFER:	±344.8' STREET FRONTAGE 7 CANOPY TREES, 14 ACCENT TREES, BERM W/ SHRUBS 7 NEW CANOPY TREES, 14 ACCENT TREES W/ BERM AND SHRUBS (30" HIGH MIN.)
ST. HWY. 276 OVERLAY DISTRICT: ±167.8 STREET FRONTAGE	15' WIDE LANDSCAPE BUFFER W/ GR. COVER, BUILT-UP BERM & SHRUBS (30" MIN.-48" MAX) ALONG ENTIRE LENGTH OF FRONTAGE. 2 CANOPY TREES + 4 ACCENT TREES PER 100 LIN. FEET OF FRONTAGE
REQUIRED PLANTING: PROVIDED 15' BUFFER:	3 CANOPY TREES, 7 ACCENT TREES, BERM W/ SHRUBS UNABLE TO PROVIDE REQ. TREES IN BUFFER DUE TO EASEMENTS & UNDERGROUND UTILITIES (WATER, STORM, SANITARY), 10 LG SHRUBS (SUBSTITUTED FOR 7 ACCENT TREES) PLACED IN BUFFER W/ BERM & SHRUBS (30" HI MIN.-48" MAX.) PLACED IN BUFFER
EAST PROPERTY LINE BUFFER:	NOT REQUIRED. PROPERTY ZONED PD-10
NORTH PROPERTY LINE BUFFER:	NOT REQUIRED. PROPERTY ZONED LIGHT INDUSTRIAL
05.02 LANDSCAPE SCREENING REQ. HEADLIGHT SCREENING	NOT APPLICABLE
SCREENING FROM RESIDENTIAL	NOT APPLICABLE
05.03 LANDSCAPE REQUIREMENTS - COMMERCIAL (C) DISTRICT	TOTAL SITE AREA: ±160,353 SF LANDSCAPE AREA REQUIRED TOTAL SITE: 32,071 SF (20%) LANDSCAPE PROVIDED, TOTAL SITE: ±58,742 SF (36.6%)
LOCATION OF LANDSCAPING:	MIN. 50% OF REQ. LANDSCAPING SHALL BE LOCATED IN THE FRONT OF & ALONG THE SIDE OF BUILDINGS W/ STREET FRONTAGE.
LANDSCAPE AREAS IN FRONT & SIDES OF BUILDINGS:	±40,718 SF (69%)
MIN. SIZE OF AREAS:	ALL REQ. LANDSCAPING SHALL BE NO LESS THAN 5' WIDE AND A MIN. OF 25 SF IN AREA
DETENTION BASIN (XERISCAPE OPTION):	MIN. (1) CANOPY TREE AND (4) SHRUB/ORNAMENTAL GRASS PER 750 SF OF DRY LAND AREA
PROPOSED DETENTION BASIN LANDSCAPING:	10,890 / 750 = 14; 14 x 4 = 56 SHRUBS + NATIVE GRASSES
PARKING LOT LANDSCAPING	MIN. 5% OR 200 SF OF LANDSCAPING, WHICHEVER IS GREATER, IN THE INTERIOR OF PARKING LOT AREA.
PROPOSED PARKING AREA: REQ. PARKING LOT LANDSCAPING:	±29,004 SF ±1,450 SF (29,004 x 5%) AND (1) LG. CANOPY TREE FOR EVERY 10 PARKING SPACES INTERNAL TO PARKING AREAS (PARKING AREA OVER 20,000 SF) REQ. PARKING SPACES MUST BE WITHIN 80' OF A CANOPY TREE TRUNK
PROPOSED PARKING LOT LANDSCAPING:	±1,528 SF (5%) 34 PARKING SPACES / 10 = 3 TREES 5 CANOPY TREES

SITE DATA TABLE	
EXISTING USE:	VACANT
PROPOSED USE:	MINI-WAREHOUSE & OFFICE SUITES
EXISTING ZONING DISTRICT:	PLANNED DEVELOPMENT (PD-10)
SITE AREA (LOT 2):	3,682 AC (160,388 SF)
SITE AREA (LOT 3):	2,565 AC (111,719 SF)
TOTAL SITE AREA:	6,247 AC (272,107 SF)
FOR LOT 2 ONLY	
BUILDING AREA	MINI-WAREHOUSE OFFICE SUITES
BUILDING A (3 STORIES):	69,250 SF 4,400 SF
BUILDING B (1 STORY):	11,350 SF 0 SF
BUILDING C (1 STORY):	4,000 SF 0 SF
BUILDING D (1 STORY):	13,100 SF 3,000 SF
TOTAL BUILDING AREA:	105,100 SF
TOTAL BUILDING FOOTPRINT AREA:	56,000 SF
TOTAL STORAGE UNITS:	635 UNITS
	REQUIRED PROVIDED
MAXIMUM LOT COVERAGE:	96,233 SF (60%) 56,000 SF (35%)
FLOOR TO AREA RATIO:	4.1 0.661
MAXIMUM BUILDING HEIGHT:	60 FT 42 FT
LANDSCAPE AREA:	32,078 SF (20%) 58,982 SF (36.6%)
PARKING REQUIRED:	MINI-WAREHOUSE OFFICE SUITES
	25 STALLS 25 STALLS
	(3 STALLS + 1/100 UNITS) (1/300 SF)
TOTAL PARKING REQUIRED:	34 STALLS
TOTAL PARKING PROVIDED:	34 STALLS
NOTE: PD-10 REQUIRES COMMERCIAL (C) ZONING STANDARDS TO BE FOLLOWED FOR A NON-RESIDENTIAL DEVELOPMENT.	

TREE MITIGATION SUMMARY	
TOTAL MITIGATION REQUIRED:	119.75'
MITIGATION PROVIDED BY PLANTING 4" CALIPER TREES (31) TO BE PLANTED ONSITE:	124.0'
MITIGATION PROVIDED BY PURCHASING PRESERVATION CREDITS (20% OF TOTAL):	0'
TOTAL MITIGATION PROVIDED:	124.0'



APPROVED:
I HEREBY CERTIFY THAT THE ABOVE AND FOREGOING SITE PLAN FOR A DEVELOPMENT IN THE CITY OF ROCKWALL, TEXAS, WAS APPROVED BY THE PLANNING & ZONING COMMISSION OF THE CITY OF ROCKWALL ON THE _____ DAY OF _____
WITNESS OUR HANDS, THIS _____ DAY OF _____
PLANNING & ZONING COMMISSION, CHAIRMAN _____ DIRECTOR OF PLANNING AND ZONING _____



ADVANTAGE STORAGE
1701 STATE HIGHWAY 276
OUT OF THE JAMES M. ALLEN SURVEY, ABSTRACT NO. 2
CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS

LANDSCAPE PLANTING PLAN	
PROJECT: 07/14/2022	SHEET TITLE: 2257
CLIENT: ADVANTAGE STORAGE	U.S. PROJECT: 2257
DRAWN BY: LL	
DESIGNER: LL	
REVIEWER: BP	

SHEET
LP-1

PLANTING SPECIFICATIONS

GENERAL

- A. QUALIFICATIONS OF LANDSCAPE CONTRACTOR
1. ALL LANDSCAPE WORK SHOWN ON THESE PLANS SHALL BE PERFORMED BY A SINGLE FIRM SPECIALIZING IN LANDSCAPE PLANTING.

- B. SCOPE OF WORK
1. WORK COVERED BY THESE SECTIONS INCLUDES THE FURNISHING AND PAYMENT OF ALL MATERIALS, LABOR, SERVICES, EQUIPMENT, LICENSES, TAXES AND ANY OTHER ITEMS THAT ARE NECESSARY FOR THE EXECUTION, INSTALLATION AND COMPLETION OF ALL WORK, SPECIFIED HEREIN AND / OR SHOWN ON THE LANDSCAPE PLANS, NOTES, AND DETAILS.

PRODUCTS

- A. ALL MANUFACTURED PRODUCTS SHALL BE NEW.
B. CONTAINER AND BALLED-AND-BURLAPPED PLANTS.
1. FURNISH NURSERY-GROWN PLANTS COMPLYING WITH ANSI Z60.1-2014. PROVIDE WELL-SHAPED, FULLY BRANCHED, HEALTHY, VIGOROUS STOCK FREE OF DISEASE, INSECTS, FEEDS, LARVAE, AND DEFECTS SUCH AS KNOTS, SUN SCALD, INJURIES, ABRASIONS, AND DISFIGUREMENT. ALL PLANTS WITHIN A SPECIES SHALL HAVE SIMILAR SIZE, AND SHALL BE OF A FORM TYPICAL FOR THE SPECIES. ALL TREES SHALL BE OBTAINED FROM SOILS WITHIN 200 MILES OF THE PROJECT SITE, AND WITH SIMILAR CLIMATIC CONDITIONS.

METHODS

- A. SOIL PREPARATION
1. BEFORE STARTING WORK, THE LANDSCAPE CONTRACTOR SHALL VERIFY THAT THE GRADE OF ALL LANDSCAPE AREAS ARE WITHIN +/-0.1' OF FINISH GRADE. IF THE CONTRACTOR SHALL NOTIFY THE OWNER IMMEDIATELY SHOULD ANY DISCREPANCIES EXIST.

SUBMITTALS

- 1. THE CONTRACTOR SHALL PROVIDE SUBMITTALS AND SAMPLES, IF REQUIRED, TO THE LANDSCAPE ARCHITECT, AND RECEIVE APPROVAL IN WRITING FOR SUCH SUBMITTALS BEFORE WORK COMMENCES.

GENERAL PLANTING

- 1. REMOVE ALL NURSERY TAGS AND STAKES FROM PLANTS.

- A. SHRUB, PERENNIAL, AND GROUNDCOVER PLANTING
1. DIG THE PLANTING HOLES TWICE AS WIDE AND 2' LESS DEEP THAN EACH PLANT'S ROOTBALL. INSTALL THE PLANT IN THE HOLE. BACKFILL AROUND THE PLANT WITH SOIL AMENDED PER SOIL TEST RECOMMENDATIONS.

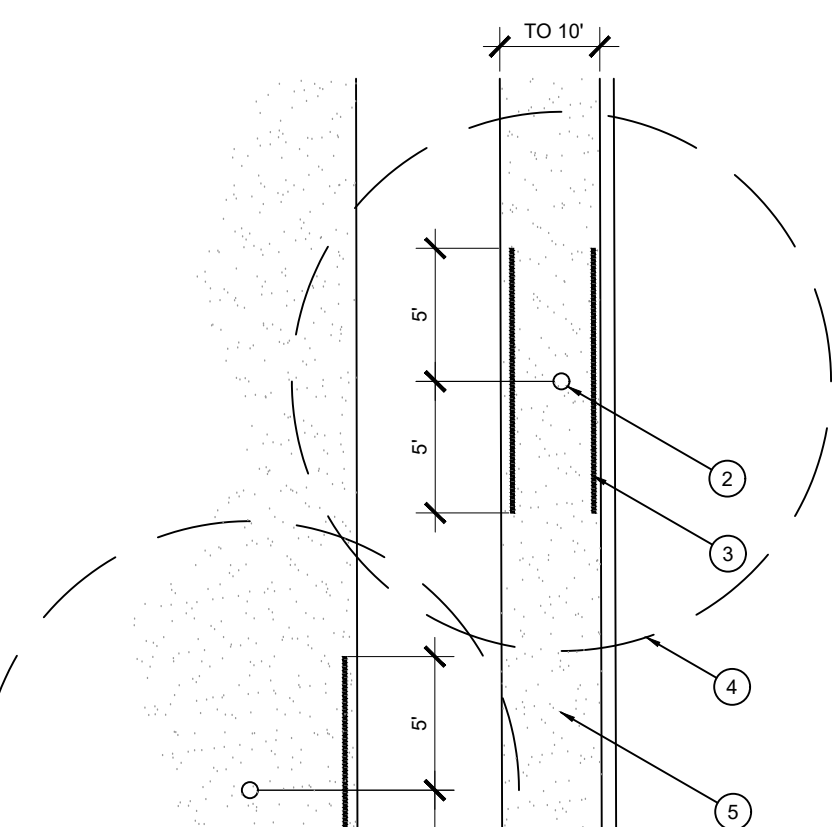
- C. MULCH
1. INSTALL MULCH TOPDRESSING, TYPE AND DEPTH PER MULCH NOTE, IN ALL PLANTING AREAS AND TREE RINGS.

- F. SODDING
1. SOD VARIETY TO BE AS SPECIFIED ON THE LANDSCAPE PLAN.

- I. INSPECTION AND ACCEPTANCE
1. UPON COMPLETION OF THE WORK, THE LANDSCAPE CONTRACTOR SHALL PROVIDE THE SITE CLEAN, FREE OF DEBRIS AND TRASH, AND SUITABLE FOR USE AS INTENDED.

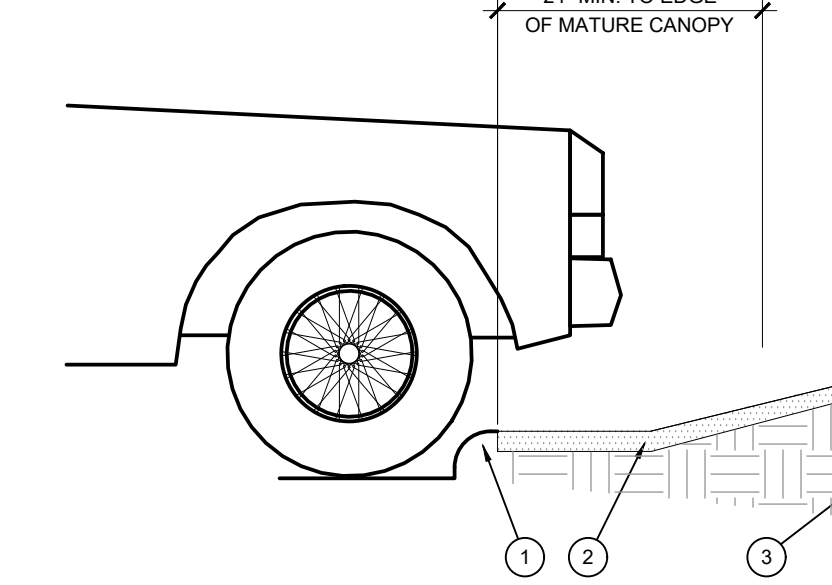
- J. LANDSCAPE MAINTENANCE
1. THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR THE MAINTENANCE OF ALL WORK SHOWN ON THESE PLANS FOR 90 DAYS BEYOND FINAL ACCEPTANCE OF ALL LANDSCAPE WORK BY THE OWNER.

OPEN LANDSCAPE



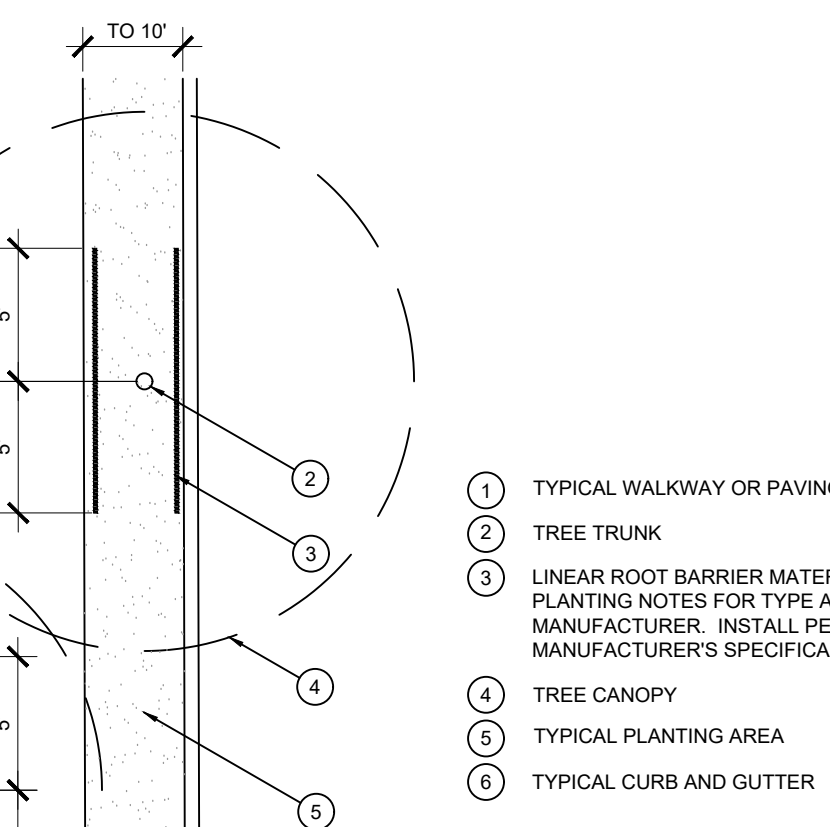
ROOT BARRIER - PLAN VIEW
SCALE: NOT TO SCALE

IRRIGATION CONCEPT



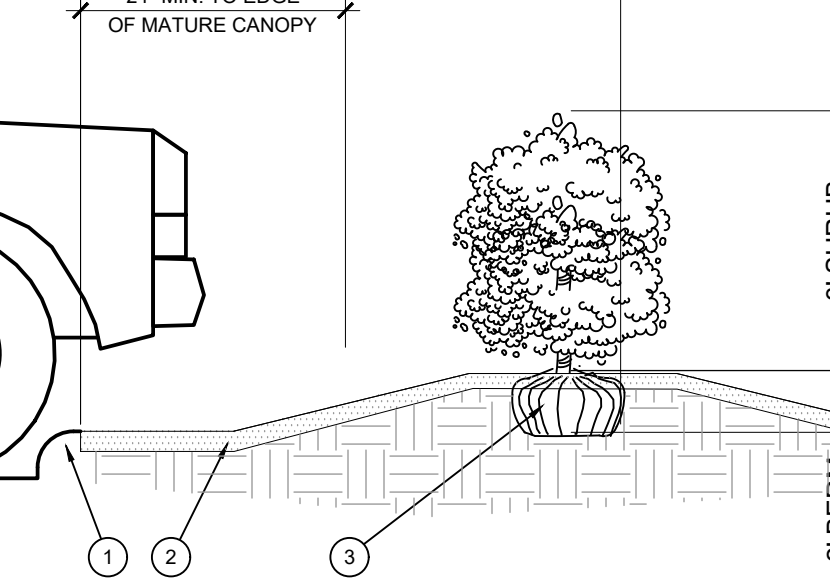
PLANTING AT PARKING AREA
SCALE: NOT TO SCALE

PARKWAY OR ISLAND



TREE PLANTING
SCALE: NOT TO SCALE

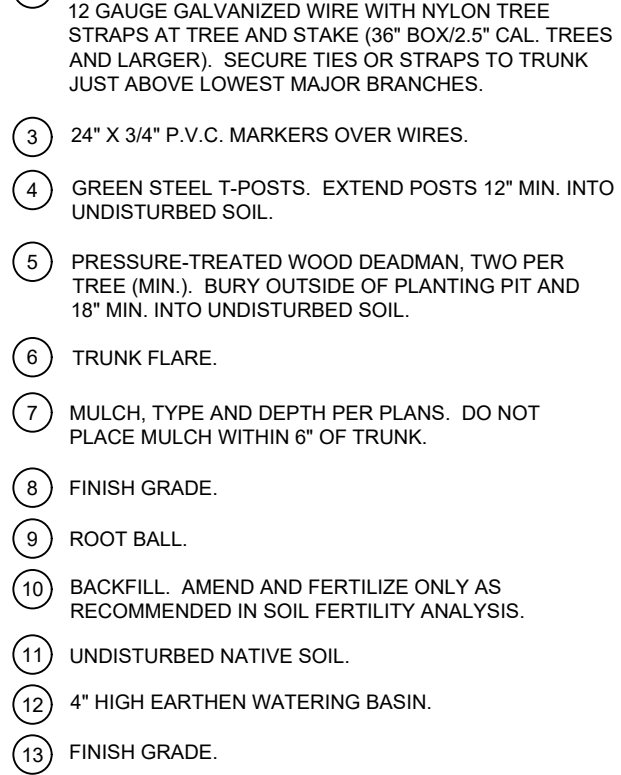
SHRUB AND PERENNIAL PLANTING



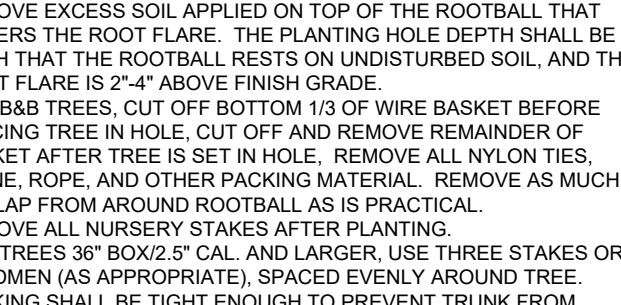
STEELEDGING
SCALE: NOT TO SCALE

APPROVED: I HEREBY CERTIFY THAT THE ABOVE AND FOREGOING SITE PLAN FOR A DEVELOPMENT IN THE CITY OF ROCKWALL, TEXAS, WAS APPROVED BY THE PLANNING & ZONING COMMISSION OF THE CITY OF ROCKWALL ON THE _____ DAY OF _____.
WITNESS OUR HANDS, THIS _____ DAY OF _____.
PLANNING & ZONING COMMISSION, CHAIRMAN DIRECTOR OF PLANNING AND ZONING

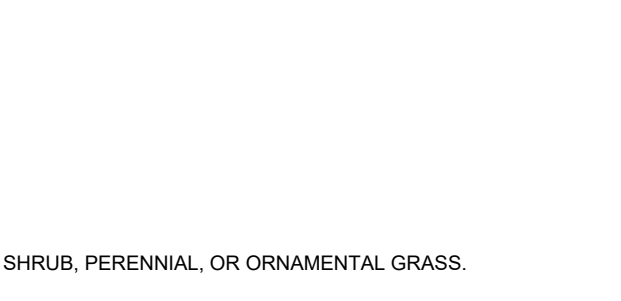
CONIFEROUS TREE



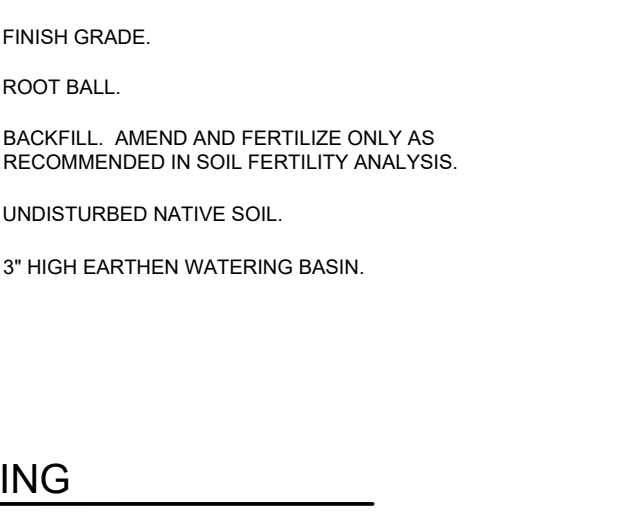
NON-CONIFEROUS TREE



STAKING EXAMPLES (PLAN VIEW)



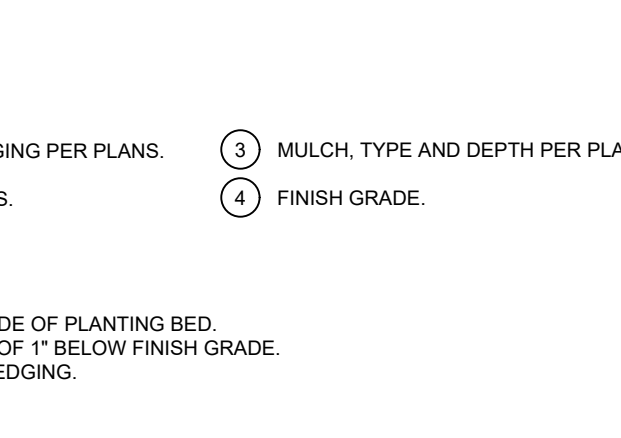
SHRUB AND PERENNIAL PLANTING



SHRUB AND PERENNIAL PLANTING



SHRUB AND PERENNIAL PLANTING



SHRUB AND PERENNIAL PLANTING



Advantage Storage information including project location (1701 STATE HIGHWAY 276), contact information for Urban Structure, and project details like sheet number LP-2 and city case number.

Atmos Energy Approved Vegetation

The following plants are allowed on Atmos Energy's right of way. These plants have less than 4' growth potential and a non-intrusive root system. They are also local to the North Texas climate.

Shrub

Agave
American BeautyBerry
Barberry
Cast Iron Plant
Color Guard Yucca
Compact Nandina
Drift Rose
Dwarf Boxwood
Dwarf Chinese Holly
Dwarf Indian Hawthorn
Dwarf Spiera
Dwarf Variegated
Dwarf Yaupon Holly
Flirt Nandina
Harbor Dwarf Nandina
Miniature Crape Myrtle
Rose Creek Abelia
Rosemary
Spreading Yew
Variegated Abelia
Wheeler's Dwarf

Perennial

Autumn Salvia
Black-Eyed-Susan
Blackfoot Daisy
Blue Mealy Sage
Calylophus
Cone Flower
Creeping Lantana
Daylily
Dwarf Mexican Petunia
Flame Acanthus
Garden Phlox
Gaura
Holly Fern
Lamb's Ear
Wood Fern

Ornamental Grass

Berkeley's Sedge
Gulf Muhly
Hameln's Fountain
Mexican Feather

Groundcover

Ajuga
Asian Jasmine
Creeping Juniper
Creeping Rosemary
Lirope, regular or giant
Mondo Grass
Purple Euonymus



Customer Service: 888.286.6700
atmosenergy.com/pipelinerenewal



Rose Creek Abelia



Dwarf Yaupon Holly



Daylily



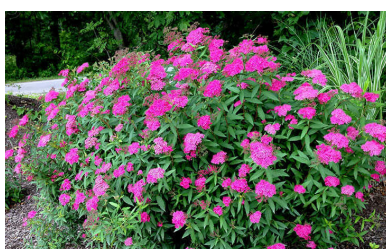
Harbor Dwarf Nandina



Lily Turf



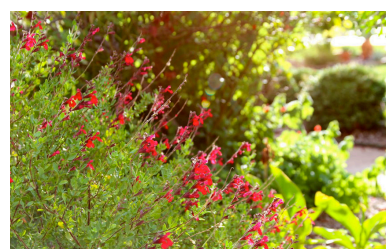
Black-Eyed Susan



Dwarf Spirea



Mexican Feather grass



Greggs Salvia

PAVEMENT LEGEND

	EXISTING PAVEMENT
	HEAVY DUTY CONCRETE PAVEMENT
	LIGHT DUTY CONCRETE PAVEMENT

SITE DATA TABLE

EXISTING USE:	VACANT
PROPOSED USE:	MINI-WAREHOUSE & OFFICE SUITES
EXISTING ZONING DISTRICT:	PLANNED DEVELOPMENT (PD-10)
SITE AREA (LOT 2):	3.682 AC (160,388 SF)
SITE AREA (LOT 3):	2.565 AC (111,719 SF)
TOTAL SITE AREA:	6.247 AC (272,107 SF)

FOR LOT 2 ONLY

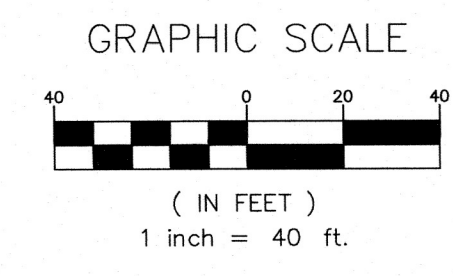
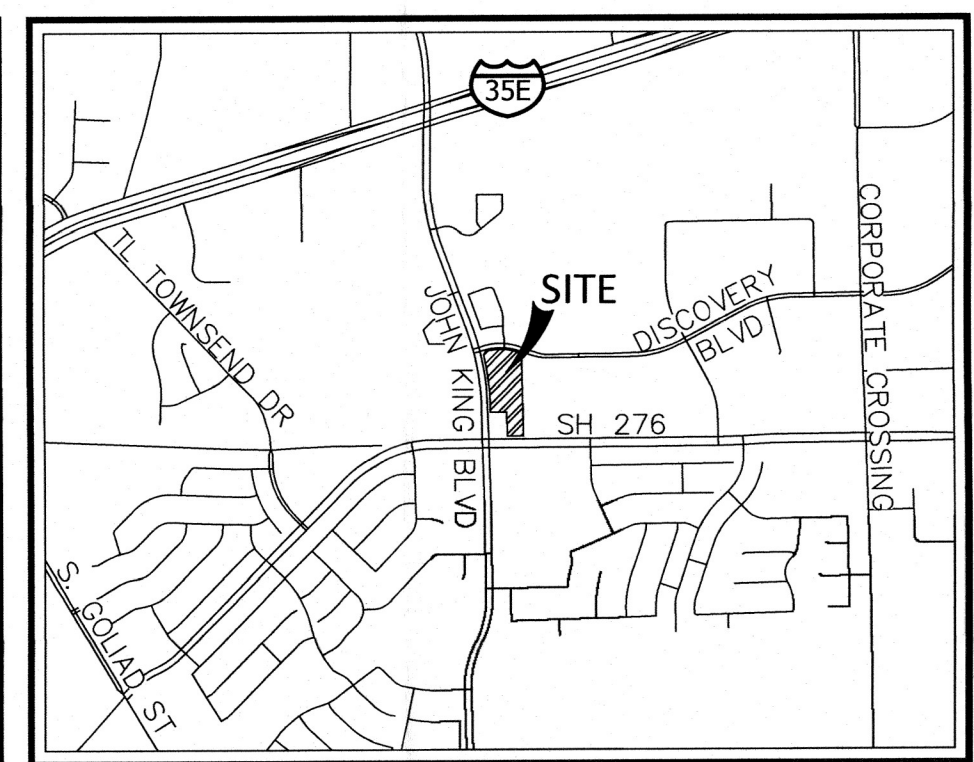
BUILDING AREA:	MINI-WAREHOUSE	OFFICE SUITES
BUILDING A (3 STORIES):	73,408 SF	4,400 SF
BUILDING B (1 STORY):	11,350 SF	0 SF
BUILDING C (1 STORY):	5,500 SF	0 SF
BUILDING D (1 STORY):	15,534 SF	2,961 SF
TOTAL BUILDING AREA:	105,792 SF	
TOTAL BUILDING FOOTPRINT AREA:	56,582 SF	
TOTAL STORAGE UNITS:	635 UNITS	

REQUIRED:	PROVIDED:
96,233 SF (80%)	56,500 SF (35%)
MAXIMUM LOT COVERAGE:	
4:1	0.86:1
FLOOR TO AREA RATIO:	
60 FT	42 FT
MAXIMUM BUILDING HEIGHT:	

LANDSCAPE AREA: 32,078 SF (20%), 58,982 SF (36.8%)

PARKING REQUIRED:	MINI-WAREHOUSE	OFFICE SUITES
	9 STALLS	15 STALLS
	(3 STALLS + 1/100 UNITS)	(1/800 SF)
TOTAL PARKING REQUIRED:	34 STALLS	
TOTAL PARKING PROVIDED:	34 STALLS	

NOTE: PD-10 REQUIRES COMMERCIAL (C) ZONING STANDARDS TO BE FOLLOWED FOR A NON-RESIDENTIAL DEVELOPMENT.

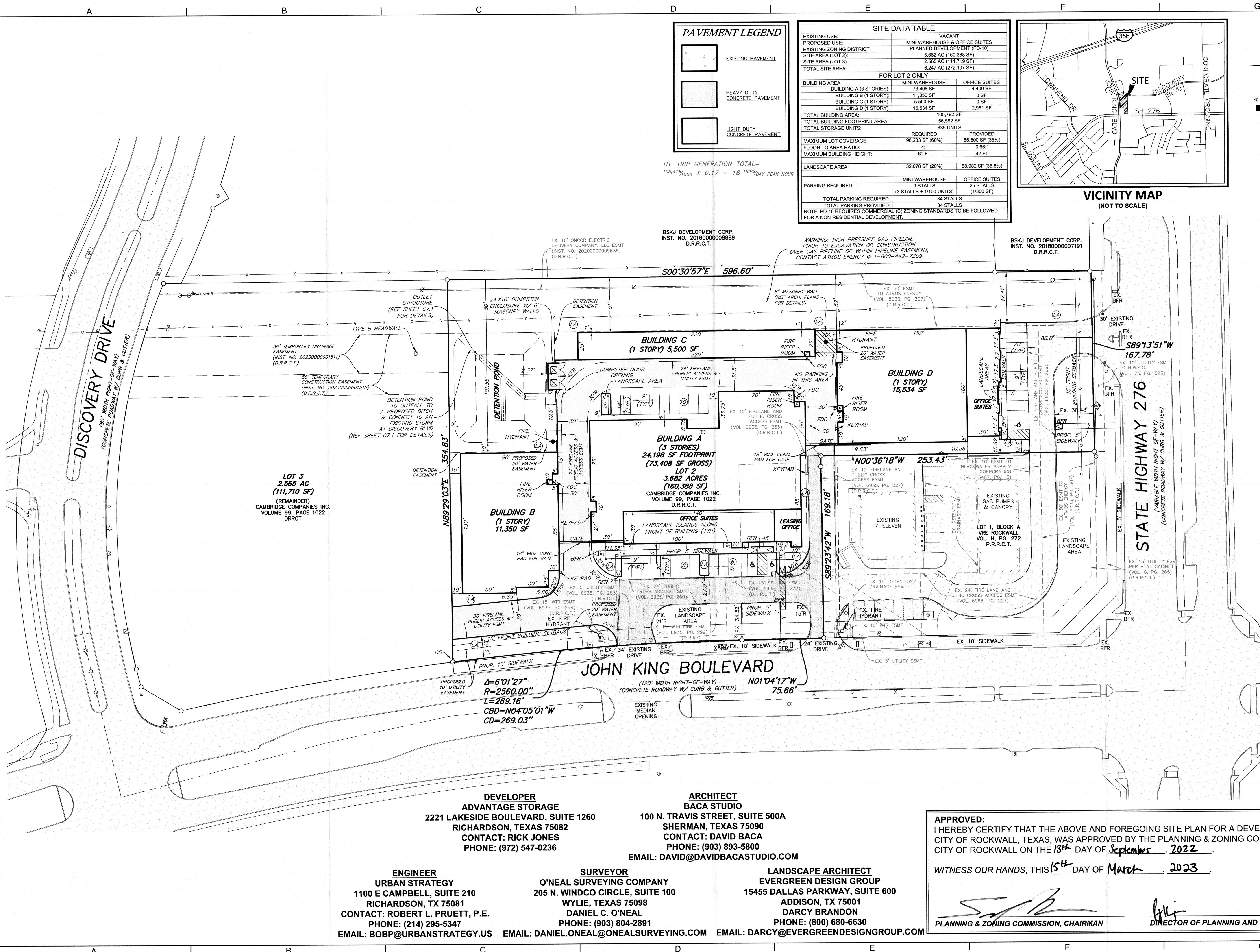


ITE TRIP GENERATION TOTAL = 105,416/1000 X 0.17 = 18 TRIPS/DAY PEAK HOUR

BSKJ DEVELOPMENT CORP. INST. NO. 2016000008889 D.R.R.C.T.

WARNING: HIGH PRESSURE GAS PIPELINE PRIOR TO EXCAVATION OR CONSTRUCTION OVER GAS PIPELINE OR WITHIN PIPELINE EASEMENT, CONTACT ATMOS ENERGY @ 1-800-442-7259

BSKJ DEVELOPMENT CORP. INST. NO. 2018000007191 D.R.R.C.T.



NO.	DATE	REV. BLDG A & C REVISION

www.urbanstrategy.us
TEL: 214.369.3339

URBAN STRATEGY
4222 Main Street
Dallas, Texas 75226
Firm Registration #F-2323

PRELIMINARY
NOT FOR CONSTRUCTION, BIDDING, OR PERMIT PURPOSE.
PREPARED UNDER THE SUPERVISION OF ROBERT L. PRUETT, JR. P.E. # 53662 ON 2/28/2023

ADVANTAGE STORAGE
STATE HIGHWAY 276
OUT OF THE JAMES M. ALLEN SURVEY, ABSTRACT NO. 2
CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS

AMENDED SITE PLAN

PROJECT:	ADVANTAGE STORAGE
PREPARED ON:	12/23/2022
CLIENT:	ADVANTAGE STORAGE
DRAWN BY:	LL
DESIGNED BY:	LL
REVIEWER:	BP
U.S. PROJECT:	22577

SHEET
SP-1

FILE NAME: C:\P\DWG\Team Folder\Projects\2022\2022\Advantage Storage John King US 276 Rockwall\CAD\Working Files\C SITE.dwg
LAST MODIFIED BY: VICTOR ANDOYE
PLOTTED ON: 2/28/2023 11:59 AM

NO.	REVISIONS	DESCRIPTION	DATE



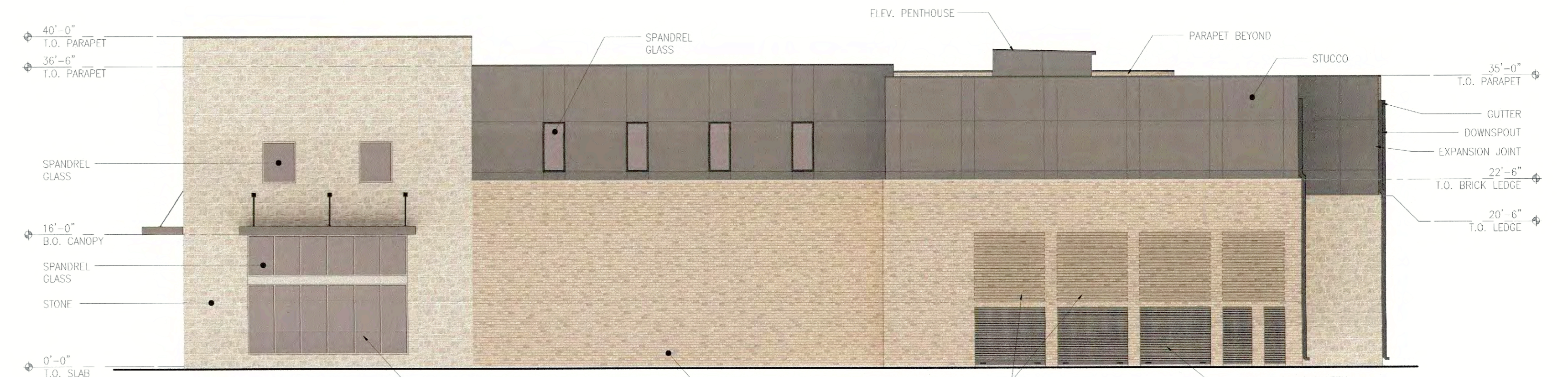
EXTERIOR WALL FINISH MATERIALS

BRICK	29%	1,743 SF
STUCCO	32%	1,936 SF
STONE	39%	2,413 SF
TOTAL	100%	6,092 SF

BUILDING TOTALS

BRICK	51%	11,167 SF
STUCCO	25%	5,512 SF
STONE	24%	5,428 SF
TOTAL	100%	22,107 SF

BLDG A WEST ELEVATION
4
SCALE: 3/32" = 1'-0"



EXTERIOR WALL FINISH MATERIALS

BRICK	43%	2,033 SF
STUCCO	30%	1,407 SF
STONE	27%	1,261 SF
TOTAL	100%	4,701 SF

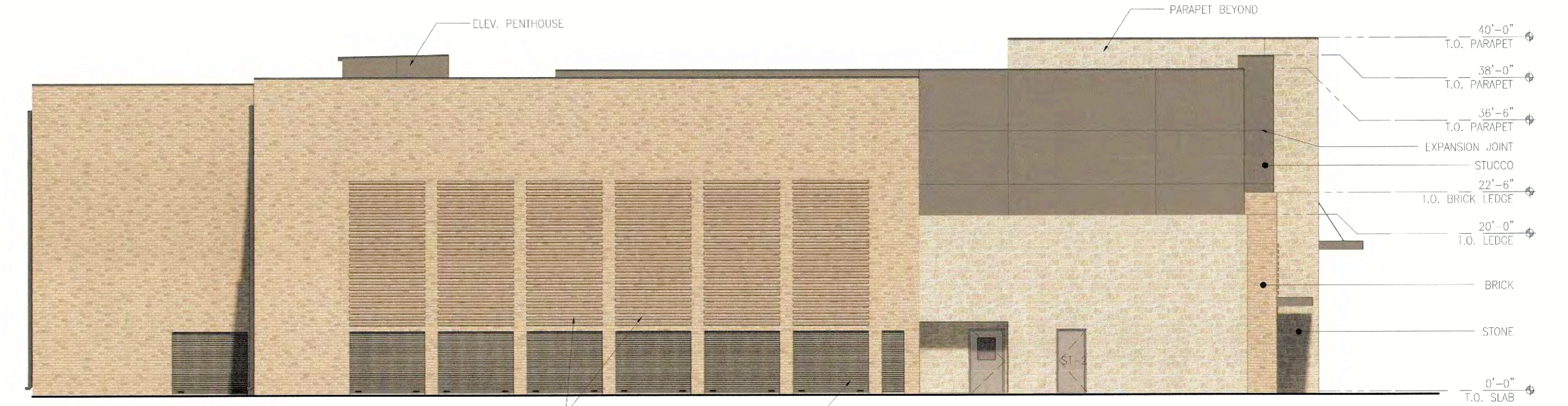
BLDG A SOUTH ELEVATION
3
SCALE: 3/32" = 1'-0"



EXTERIOR WALL FINISH MATERIALS

BRICK	65%	4,163 SF
STUCCO	23%	1,489 SF
STONE	12%	773 SF
TOTAL	100%	6,425 SF

BLDG A EAST ELEVATION
2
SCALE: 3/32" = 1'-0"



EXTERIOR WALL FINISH MATERIALS

BRICK	67%	3,411 SF
STUCCO	14%	688 SF
STONE	19%	981 SF
TOTAL	100%	5,080 SF

BLDG A NORTH ELEVATION
1
SCALE: 3/32" = 1'-0"

APPROVED:
I hereby certify that the above and foregoing site plan for development in the City of Rockwall, Texas, was approved by the Planning & Zoning Commission on the 13th day of September, 2022.

[Signature]
Chairman, Planning & Zoning Commission, Director of Planning & Zoning

exterior elevations - bldg a

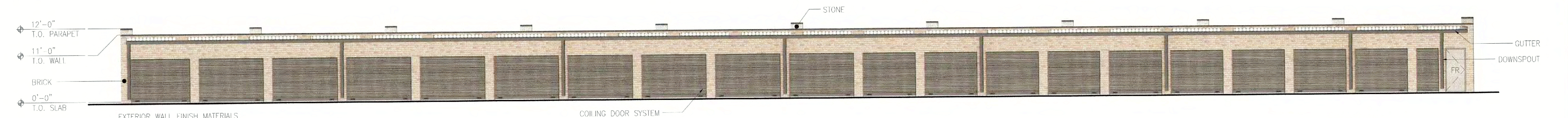
Advantage Storage
New Storage Facility
1701 State Highway 276
Rockwall, Texas

PROJECT NUMBER
2225
DATE
01.11.23
SHEET NUMBER
A6.0

DESIGN DEVELOPMENT REVIEW

NOT FOR REGULATORY APPROVAL, PERMITTING, OR CONSTRUCTION

NO.	REVISIONS	DATE



EXTERIOR WALL FINISH MATERIALS

BRICK	98%	902 SF
STUCCO	0%	0 SF
STONE	2%	17 SF
TOTAL	100%	919 SF

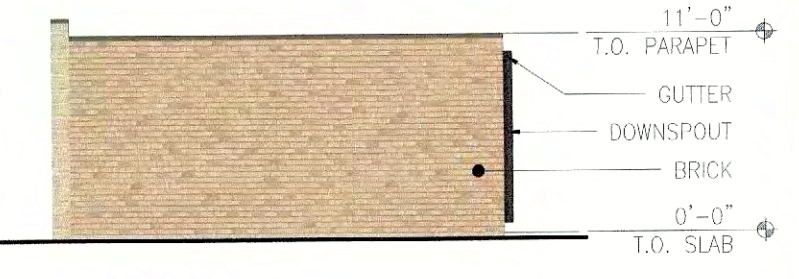
BUILDING TOTALS

BRICK	97%	3,504 SF
STUCCO	0%	0 SF
STONE	8%	308 SF
TOTAL	100%	3,810 SF

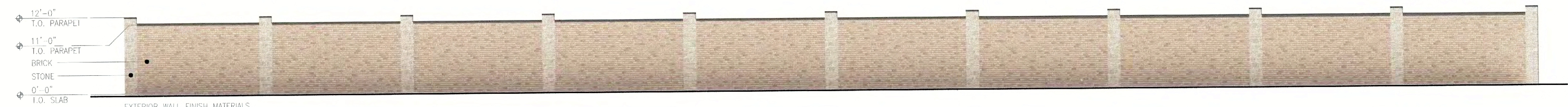
BLDG C WEST ELEVATION
SCALE: 3/32" = 1'-0"

EXTERIOR WALL FINISH MATERIALS

BRICK	96%	282 SF
STUCCO	0%	0 SF
STONE	4%	13 SF
TOTAL	100%	295 SF



BLDG C NORTH ELEVATION
SCALE: 3/32" = 1'-0"



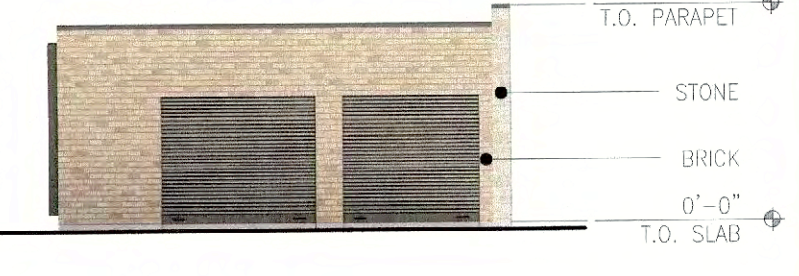
EXTERIOR WALL FINISH MATERIALS

BRICK	89%	2,174 SF
STUCCO	0%	0 SF
STONE	11%	264 SF
TOTAL	100%	2,438 SF

BLDG C EAST ELEVATION
SCALE: 3/32" = 1'-0"

EXTERIOR WALL FINISH MATERIALS

BRICK	88%	146 SF
STUCCO	0%	0 SF
STONE	12%	12 SF
TOTAL	100%	158 SF



BLDG C SOUTH ELEVATION
SCALE: 3/32" = 1'-0"



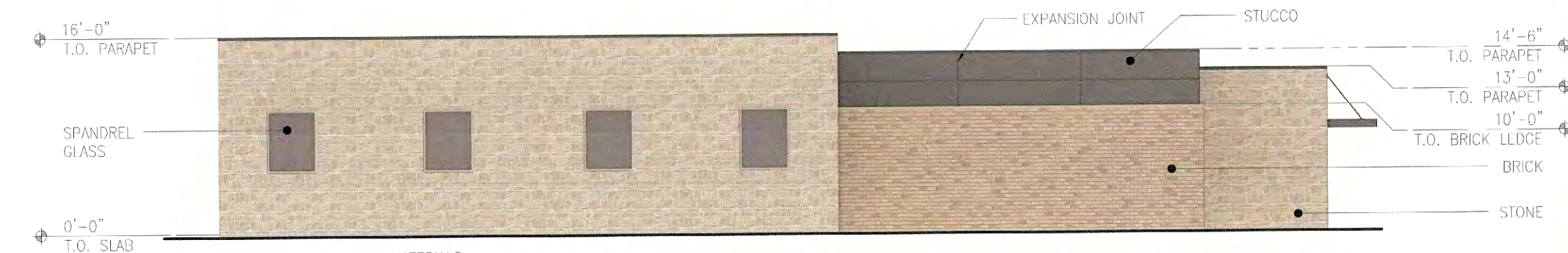
EXTERIOR WALL FINISH MATERIALS

BRICK	47%	515 SF
STUCCO	2%	18 SF
STONE	51%	552 SF
TOTAL	100%	1,085 SF

BUILDING TOTALS

BRICK	66%	4,573 SF
STUCCO	7%	471 SF
STONE	27%	1,843 SF
TOTAL	100%	6,887 SF

BLDG D WEST ELEVATION
SCALE: 3/32" = 1'-0"



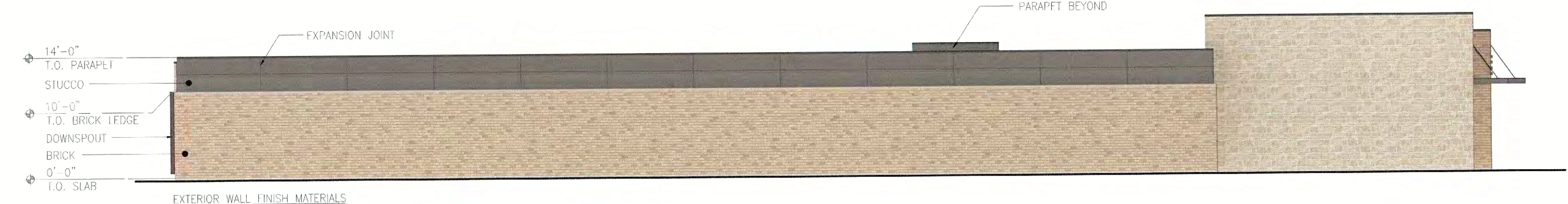
EXTERIOR WALL FINISH MATERIALS

BRICK	23%	297 SF
STUCCO	10%	132 SF
STONE	67%	861 SF
TOTAL	100%	1,290 SF

BUILDING TOTALS

BRICK	63%	3,479 SF
STUCCO	4%	205 SF
STONE	33%	1,832 SF
TOTAL	100%	5,516 SF

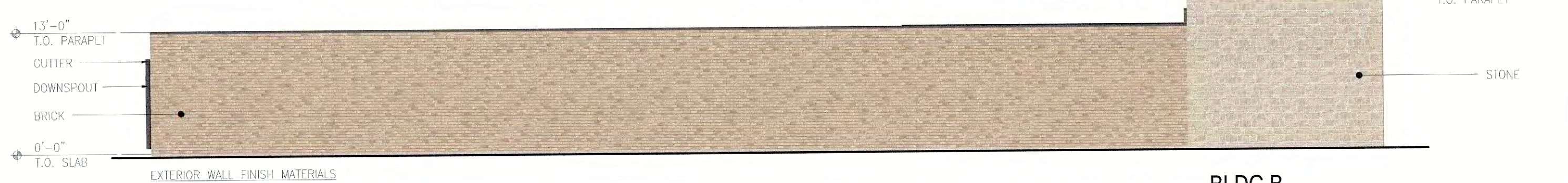
BLDG B WEST ELEVATION
SCALE: 3/32" = 1'-0"



EXTERIOR WALL FINISH MATERIALS

BRICK	57%	1,352 SF
STUCCO	19%	450 SF
STONE	24%	582 SF
TOTAL	100%	2,384 SF

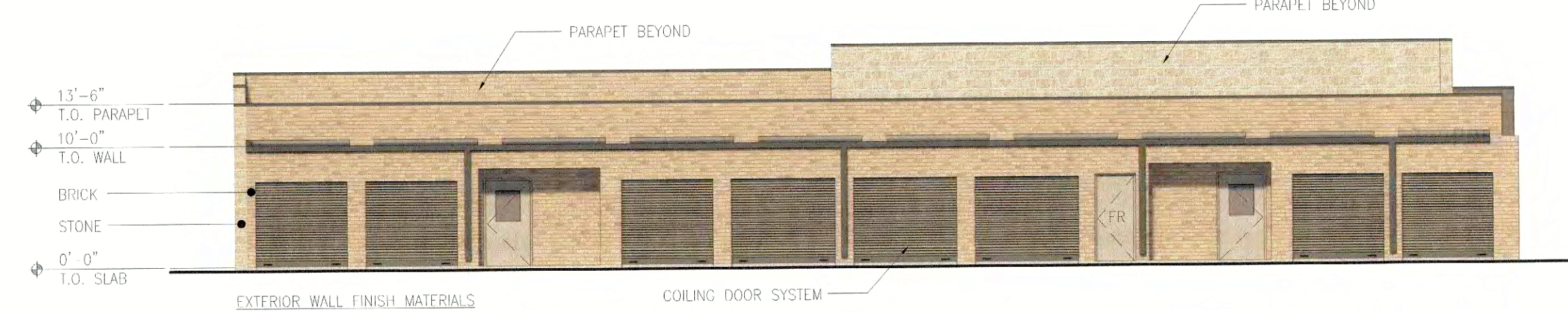
BLDG D SOUTH ELEVATION
SCALE: 3/32" = 1'-0"



EXTERIOR WALL FINISH MATERIALS

BRICK	81%	1,418 SF
STUCCO	0%	1 SF
STONE	19%	315 SF
TOTAL	100%	1,734 SF

BLDG B SOUTH ELEVATION
SCALE: 3/32" = 1'-0"



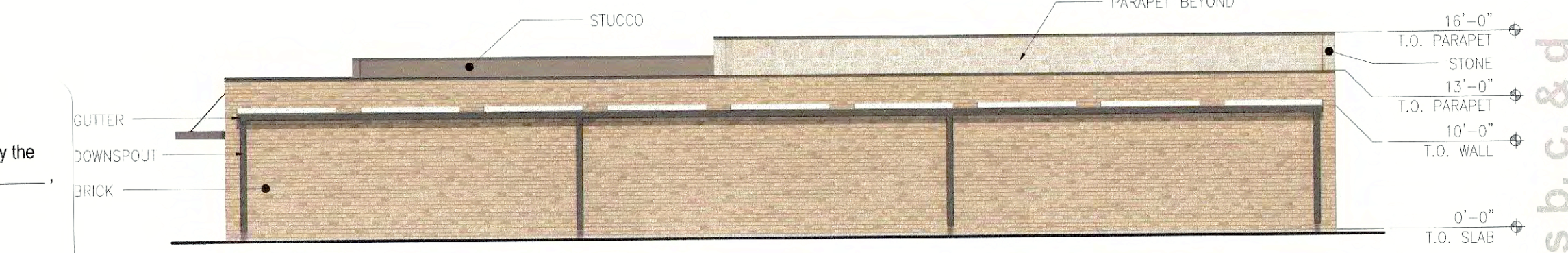
EXTERIOR WALL FINISH MATERIALS

BRICK	81%	1,047 SF
STUCCO	1%	4 SF
STONE	18%	234 SF
TOTAL	100%	1,285 SF

BLDG D EAST ELEVATION
SCALE: 3/32" = 1'-0"

APPROVED:
I hereby certify that the above and foregoing site plan for development in the City of Rockwall, Texas, was approved by the Planning & Zoning Commission on the 18th day of Sept., 2022.

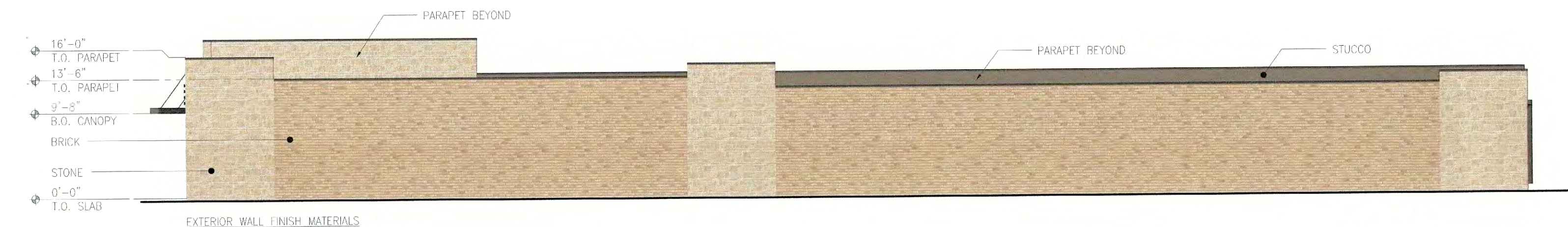
[Signature]
Director of Planning & Zoning
Chairman



EXTERIOR WALL FINISH MATERIALS

BRICK	87%	1,115 SF
STUCCO	2%	37 SF
STONE	11%	136 SF
TOTAL	100%	1,288 SF

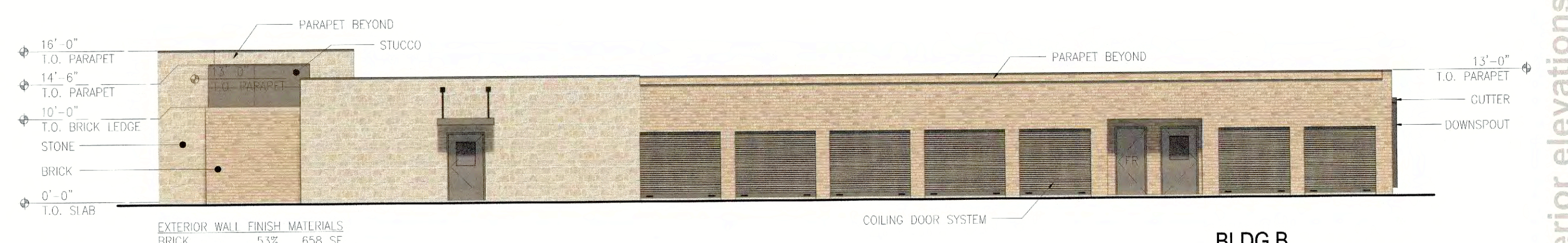
BLDG B EAST ELEVATION
SCALE: 3/32" = 1'-0"



EXTERIOR WALL FINISH MATERIALS

BRICK	74%	1,659 SF
STUCCO	0%	0 SF
STONE	26%	572 SF
TOTAL	100%	2,231 SF

BLDG D NORTH ELEVATION
SCALE: 3/32" = 1'-0"



EXTERIOR WALL FINISH MATERIALS

BRICK	53%	858 SF
STUCCO	3%	42 SF
STONE	44%	533 SF
TOTAL	100%	1,433 SF

BLDG B NORTH ELEVATION
SCALE: 3/32" = 1'-0"

exterior elevations - bldg's b, c, & d

Advantage Storage
New Storage Facility

1701 State Highway 276
Rockwall, Texas

PROJECT NUMBER

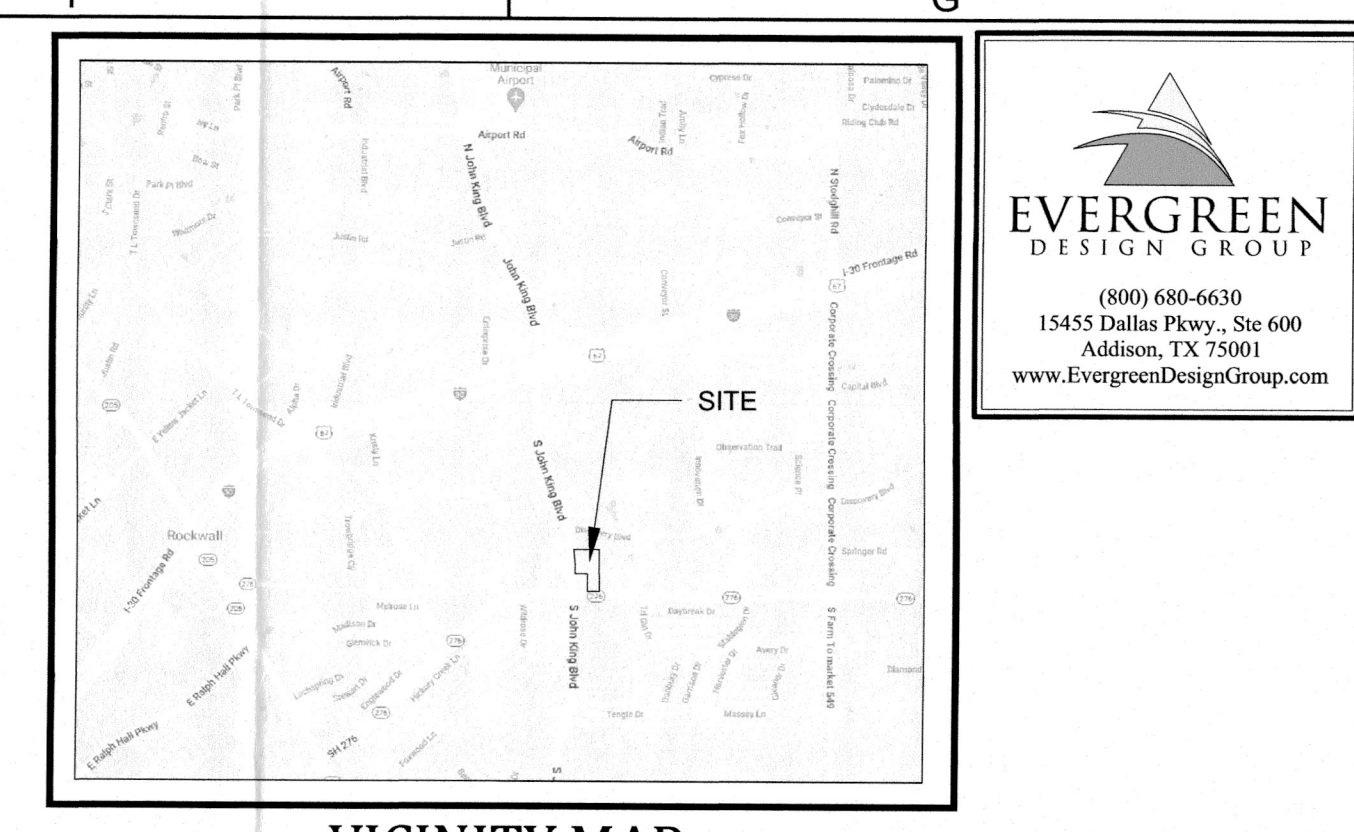
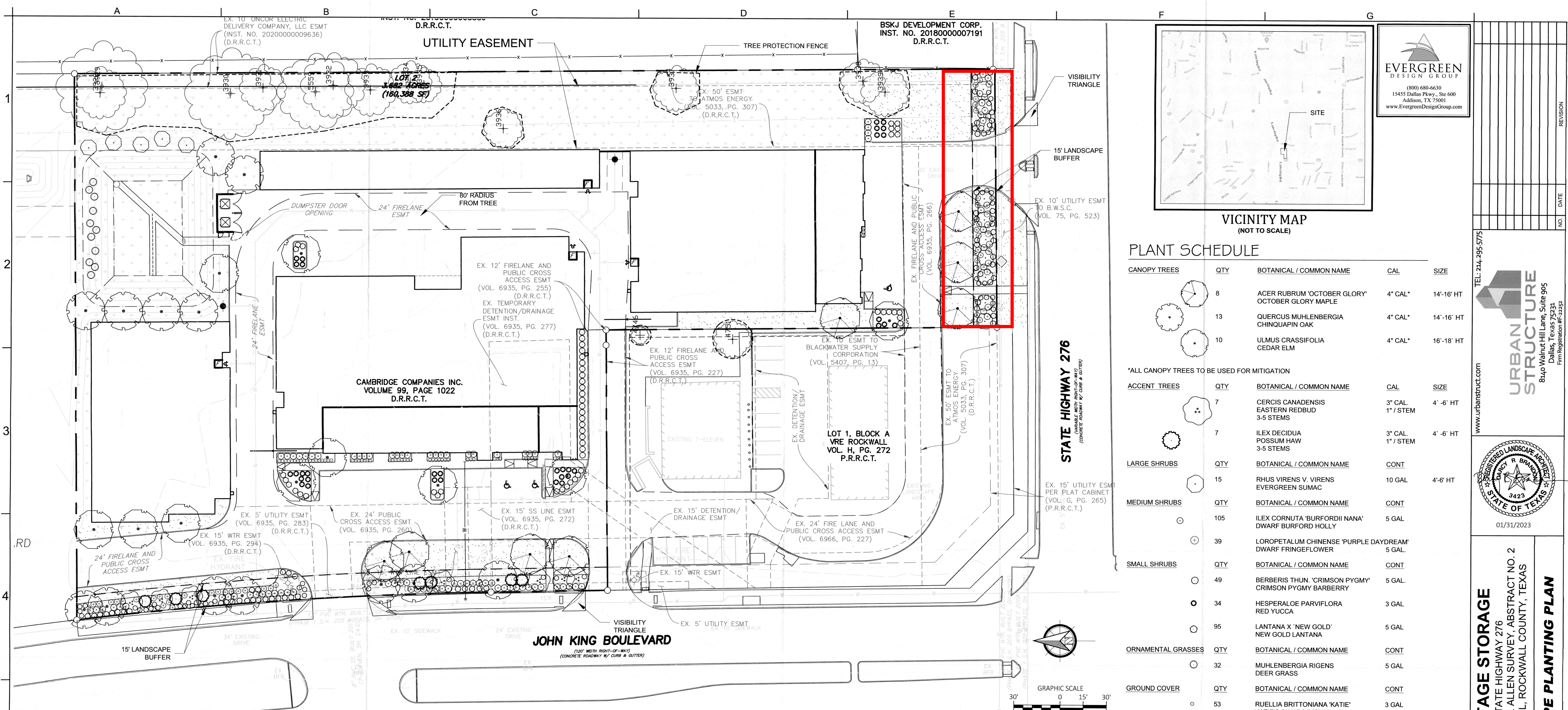
2225

DATE

01.11.23

SHEET NUMBER

A6.1



VICINITY MAP
(NOT TO SCALE)

PLANT SCHEDULE

CANOPY TREES	QTY	BOTANICAL / COMMON NAME	CAL	SIZE
	8	ACER RUBRUM 'OCTOBER GLORY' OCTOBER GLORY MAPLE	4" CAL*	14'-16" HT
	13	QUERCUS MUHLENBERGIA CHINGUAPIN OAK	4" CAL*	14'-16" HT
	10	ULMUS CRASSIFOLIA CEDAR ELM	4" CAL*	16'-18" HT
*ALL CANOPY TREES TO BE USED FOR MITIGATION				
ACCENT TREES	QTY	BOTANICAL / COMMON NAME	CAL	SIZE
	7	CERCIS CANADENSIS EASTERN REDBUD 3-5 STEMS	3" CAL 1" / STEM	4'-6" HT
	7	ILEX DECIDUA POSSUM HAW 3-5 STEMS	3" CAL 1" / STEM	4'-6" HT
LARGE SHRUBS	QTY	BOTANICAL / COMMON NAME	CONT	SIZE
	15	RHUS VIRENS V. VIRENS EVERGREEN SUMAC	10 GAL	4'-6" HT
MEDIUM SHRUBS	QTY	BOTANICAL / COMMON NAME	CONT	SIZE
	105	ILEX CORNUTA 'BURFORDII NANA' DWARF BURFORD HOLLY	5 GAL	
	39	LOROPETALUM CHINENSE 'PURPLE DAYDREAM' DWARF FRINGEFLOWER	5 GAL	
SMALL SHRUBS	QTY	BOTANICAL / COMMON NAME	CONT	SIZE
	49	BERBERIS THUN. 'CRIMSON PYGMY' CRIMSON PYGMY BARBERRY	5 GAL	
	34	HESPERALOE PARVIFLORA RED YUCCA	3 GAL	
	95	LANTANA X 'NEW GOLD' NEW GOLD LANTANA	5 GAL	
ORNAMENTAL GRASSES	QTY	BOTANICAL / COMMON NAME	CONT	SIZE
	32	MUHLENBERGIA RIGENS DEER GRASS	5 GAL	
	53	RUPELLIA BRITTONIANA 'KATIE' KATIE'S DWARF PETUNIA	3 GAL	
GROUND COVER	QTY	BOTANICAL / COMMON NAME	CONT	SIZE
	13,325 SF	CYNODON TIFWAY 419' TIFWAY 419 BERMUDA GRASS	SOD	
	38,885 SF	BLACKLAND PRAIRIE SEED MIX NATIVE AMERICAN SEED (SEEDSOURCE.COM)	HYDROSEED	

LANDSCAPE STANDARDS	
05.01 LANDSCAPE BUFFERS - NON-RESIDENTIAL REQ. ABUTTING A PUBLIC RIGHT-OF-WAY:	15' WIDE BUFFER REQ. W/ 2 CANOPY + 4 ACCENT TREE PER 100 LIN. FT. OF FRONTAGE; GROUND COVER, BUILT-UP BERM AND SHRUBBERY ALONG ENTIRE FRONTAGE, 30" HIGH, MIN. - 48" MAX. HT.
JOHN KING BLVD.: REQUIRED PLANTING: PROVIDED 15' BUFFER:	±344.8' STREET FRONTAGE 7 CANOPY TREES, 14 ACCENT TREES, BERM W/ SHRUBS 7 NEW CANOPY TREES, 14 ACCENT TREES W/ BERM AND SHRUBS (30" HIGH MIN.)
ST. HWY. 276 OVERLAY DISTRICT: ±167.8 STREET FRONTAGE	15' WIDE LANDSCAPE BUFFER W/ GR. COVER, BUILT-UP BERM & SHRUBS (30" MIN.-48" MAX) ALONG ENTIRE LENGTH OF FRONTAGE. 2 CANOPY TREES + 4 ACCENT TREES PER 100 LIN. FEET OF FRONTAGE
REQUIRED PLANTING: PROVIDED 15' BUFFER:	3 CANOPY TREES, 7 ACCENT TREES, BERM W/ SHRUBS UNABLE TO PROVIDE REQ. TREES DUE TO EASEMENTS & UNDERGROUND UTILITIES (WATER, STORM, SANITARY) REPLACE TREES W/ 10 LG. SHRUBS, BERM WITH SHRUBS (30" HI MIN.-48" MAX.)
EAST PROPERTY LINE BUFFER:	NOT REQUIRED. PROPERTY ZONED PD-10
NORTH PROPERTY LINE BUFFER:	NOT REQUIRED. PROPERTY ZONED LIGHT INDUSTRIAL
05.02 LANDSCAPE SCREENING REQ. HEADLIGHT SCREENING	NOT APPLICABLE
SCREENING FROM RESIDENTIAL	NOT APPLICABLE
05.03 LANDSCAPE REQUIREMENTS - COMMERCIAL (C) DISTRICT TOTAL SITE AREA: LANDSCAPE AREA REQUIRED TOTAL SITE: LANDSCAPE PROVIDED, TOTAL SITE:	±160,353 SF 32,071 SF (20%) ±58,742 SF (36.6%)
LOCATION OF LANDSCAPING:	MIN. 50% OF REQ. LANDSCAPING SHALL BE LOCATED IN THE FRONT OF & ALONG THE SIDE OF BUILDINGS W/ STREET FRONTAGE.
LANDSCAPE AREAS IN FRONT & SIDES OF BUILDINGS:	±40,718 SF (69%)
MIN. SIZE OF AREAS:	ALL REQ. LANDSCAPING SHALL BE NO LESS THAN 5' WIDE AND A MIN. OF 25 SF IN AREA
DETENTION BASIN (XERISCAPE OPTION):	MIN. (1) SHRUB/ORNAMENTAL GRASS PER 750 SF OF DRY LAND AREA
PROPOSED DETENTION BASIN LANDSCAPING:	5,649 / 750 = 8 SHRUBS + NATIVE GRASSES
PARKING LOT LANDSCAPING	MIN. 5% OR 200 SF OF LANDSCAPING, WHICHEVER IS GREATER, IN THE INTERIOR OF PARKING LOT AREA.
PROPOSED PARKING AREA: REQ. PARKING LOT LANDSCAPING:	±29,004 SF ±1,450 SF (29.004 x 5%) AND (1) LG. CANOPY TREE FOR EVERY 10 PARKING SPACES INTERNAL TO PARKING AREAS (PARKING AREA OVER 20,000 SF) REQ. PARKING SPACES MUST BE WITHIN 80' OF A CANOPY TREE TRUNK
PROPOSED PARKING LOT LANDSCAPING:	±1,528 SF (5%) 34 PARKING SPACES / 10 = 3 TREES 5 CANOPY TREES
TREES PROVIDED:	

MULCHES
AFTER ALL PLANTING IS COMPLETE, CONTRACTOR SHALL INSTALL 3" THICK LAYER OF 1-1/2" SHREDDED WOOD MULCH, NATURAL (UNDYED), IN ALL PLANTING AREAS (EXCEPT FOR TURF AND SEEDED AREAS). CONTRACTOR SHALL SUBMIT SAMPLES OF ALL MULCHES TO LANDSCAPE ARCHITECT AND OWNER FOR APPROVAL PRIOR TO CONSTRUCTION. ABSOLUTELY NO EXPOSED GROUND SHALL BE LEFT SHOWING ANYWHERE ON THE PROJECT AFTER MULCH HAS BEEN INSTALLED (SUBJECT TO THE CONDITIONS AND REQUIREMENTS OF THE "GENERAL GRADING AND PLANTING NOTES" AND SPECIFICATIONS).

ROOT BARRIERS
THE CONTRACTOR SHALL INSTALL ROOT BARRIERS NEAR ALL NEWLY-PLANTED TREES THAT ARE LOCATED WITHIN FIVE (5) FEET OF PAVING OR CURBS. ROOT BARRIERS SHALL BE "CENTURY" OR "DEEP-ROOT" 24" DEEP PANELS (OR EQUAL). BARRIERS SHALL BE LOCATED IMMEDIATELY ADJACENT TO HARDSCAPE. INSTALL PANELS PER MANUFACTURER'S RECOMMENDATIONS. UNDER NO CIRCUMSTANCES SHALL THE CONTRACTOR USE ROOT BARRIERS OF A TYPE THAT COMPLETELY ENIRCLE THE ROOTBALL.

TREE MITIGATION SUMMARY

TOTAL MITIGATION REQUIRED:	119.75"
MITIGATION PROVIDED BY PLANTING 4" CALIPER TREES (31) TO BE PLANTED ONSITE:	124.0"
MITIGATION PROVIDED BY PURCHASING PRESERVATION CREDITS (20% OF TOTAL):	0"
TOTAL MITIGATION PROVIDED:	124.0"

UTILITY SCREENING NOTE:
GROUND MOUNTED EQUIPMENT AND AIR CONDITIONING UNITS SHALL BE SCREENED UTILIZING PLANTINGS, BERMS, WALLS MATCHING THE MAIN STRUCTURE, OR AN ARCHITECTURAL FEATURE THAT IS INTEGRAL TO THE BUILDING'S DESIGN.

APPROVED:
I HEREBY CERTIFY THAT THE ABOVE AND FOREGOING SITE PLAN FOR A DEVELOPMENT IN THE CITY OF ROCKWALL, TEXAS, WAS APPROVED BY THE PLANNING & ZONING COMMISSION OF THE CITY OF ROCKWALL ON THE 15th DAY OF September 2022.

WITNESS OUR HANDS, THIS 15th DAY OF March, 2023

PLANNING & ZONING COMMISSION, CHAIRMAN
DIRECTOR OF PLANNING AND ZONING

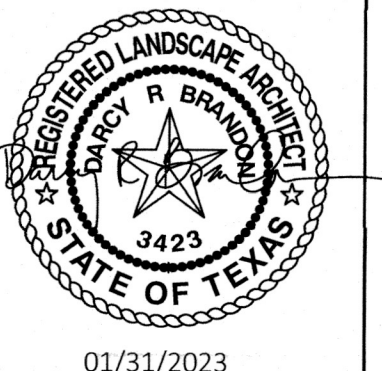
SITE DATA TABLE

EXISTING USE:	VACANT
PROPOSED USE:	MINI-WAREHOUSE & OFFICE SUITES
EXISTING ZONING DISTRICT:	PLANNED DEVELOPMENT (PD-10)
SITE AREA (LOT 2):	3.682 AC (160,388 SF)
SITE AREA (LOT 3):	2.565 AC (111,719 SF)
TOTAL SITE AREA:	6.247 AC (272,107 SF)
FOR LOT 2 ONLY	
BUILDING AREA	MINI-WAREHOUSE OFFICE SUITES
BUILDING A (3 STORIES):	69,250 SF 4,400 SF
BUILDING B (1 STORY):	11,350 SF 0 SF
BUILDING C (1 STORY):	4,000 SF 0 SF
BUILDING D (1 STORY):	13,100 SF 3,000 SF
TOTAL BUILDING AREA:	105,100 SF
TOTAL BUILDING FOOTPRINT AREA:	56,000 SF
TOTAL STORAGE UNITS:	635 UNITS
REQUIRED PROVIDED	
MAXIMUM LOT COVERAGE:	96,233 SF (60%) 56,000 SF (35%)
FLOOR TO AREA RATIO:	4:1 0.66:1
MAXIMUM BUILDING HEIGHT:	60 FT 42 FT
LANDSCAPE AREA:	32,078 SF (20%) 58,962 SF (36.6%)
PARKING REQUIRED:	
MINI-WAREHOUSE	OFFICE SUITES
9 STALLS	25 STALLS
(3 STALLS + 1100 UNITS)	(1/300 SF)
TOTAL PARKING REQUIRED:	34 STALLS
TOTAL PARKING PROVIDED:	34 STALLS

NOTE: PD-10 REQUIRES COMMERCIAL (C) ZONING STANDARDS TO BE FOLLOWED FOR A NON-RESIDENTIAL DEVELOPMENT.



NO.	DATE	REVISION



ADVANTAGE STORAGE
1701 STATE HIGHWAY 276
OUT OF THE JAMES M. ALLEN SURVEY, ABSTRACT NO. 2
CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS

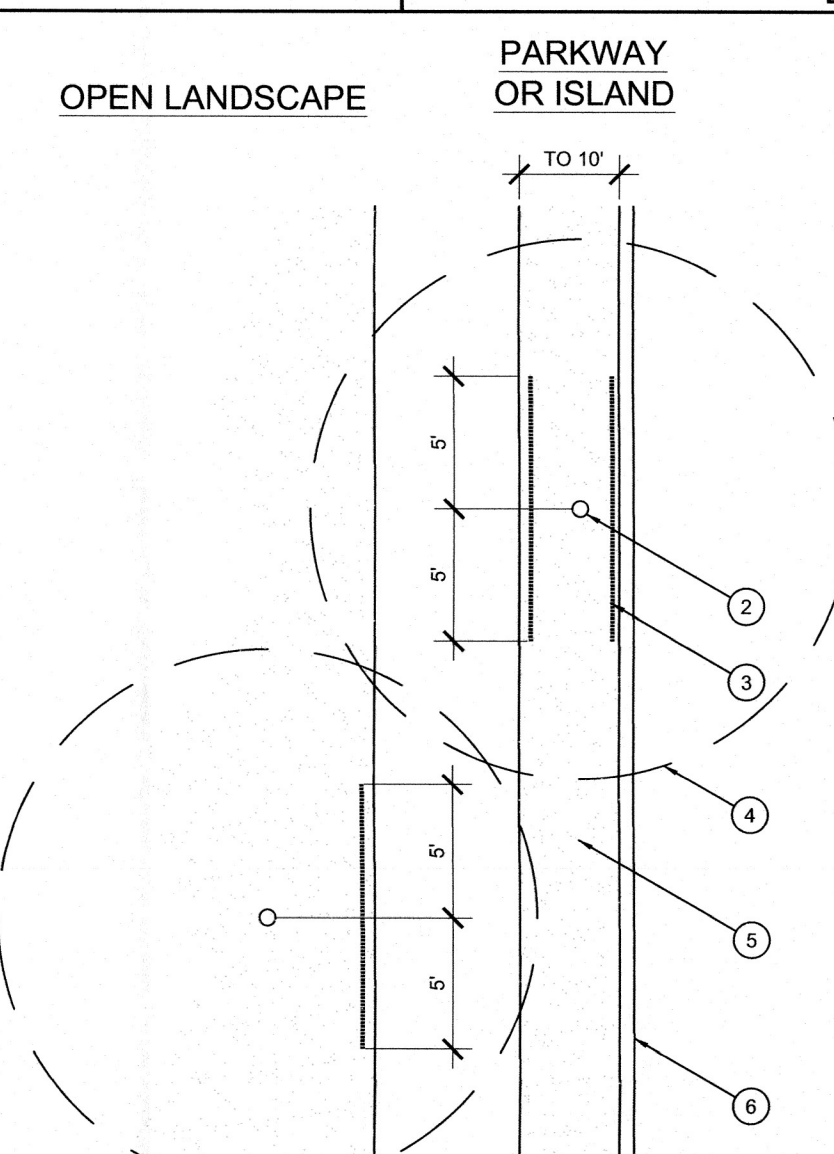
LANDSCAPE PLANTING PLAN

PREPARED ON: 07/14/2022
CLIENT: ADVANTAGE STORAGE
DRAWN BY: LL
DESIGNER: LL
REVIEWER: BP
U.S. PROJECT: 22877

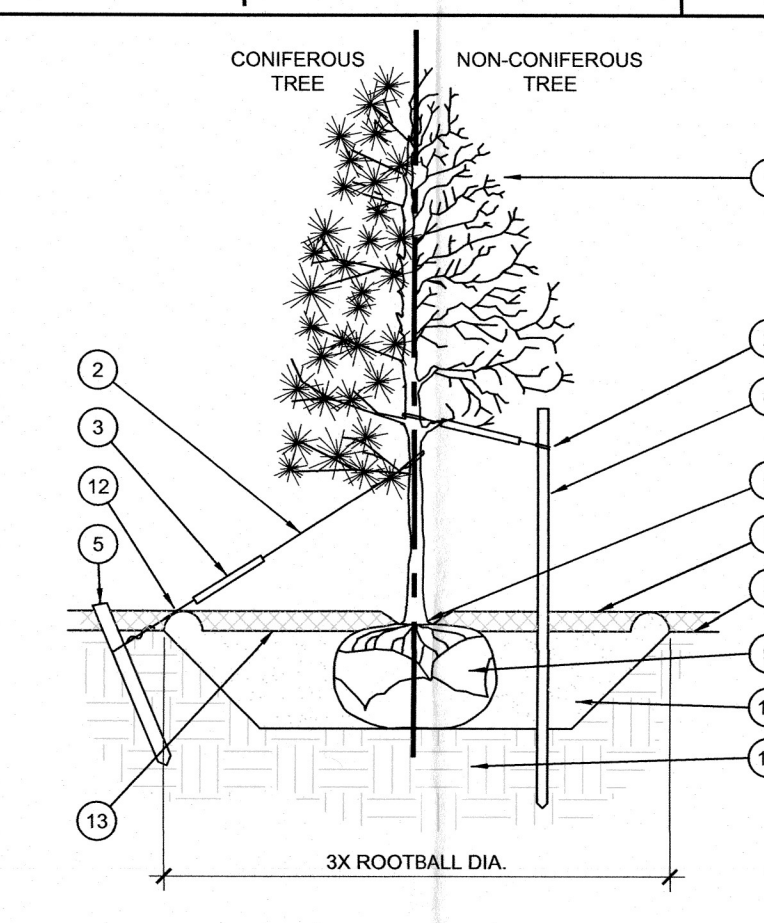
SHEET
LP-1

PLANTING SPECIFICATIONS

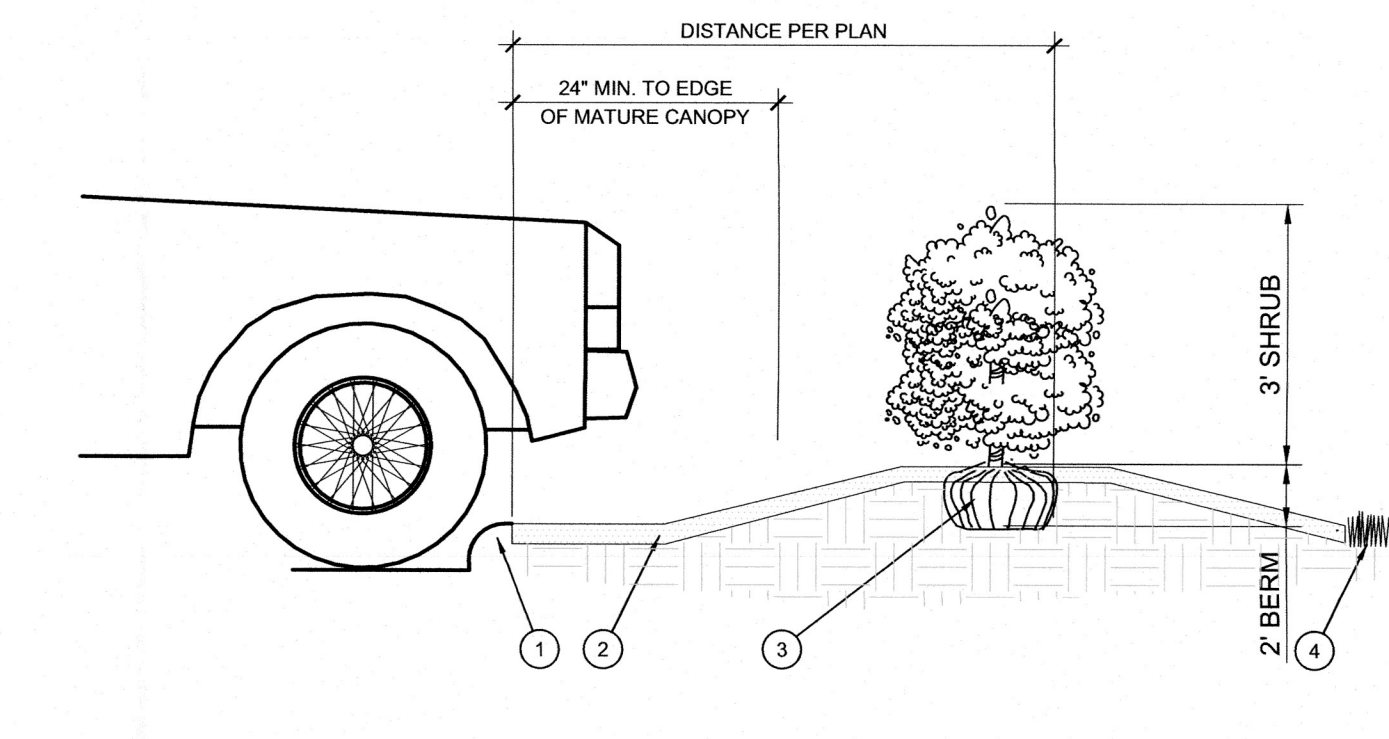
GENERAL
A. QUALIFICATIONS OF LANDSCAPE CONTRACTOR
1. ALL LANDSCAPE WORK SHOWN ON THESE PLANS SHALL BE PERFORMED BY A SINGLE FIRM...
B. SCOPE OF WORK
1. WORK COVERED BY THESE SECTIONS INCLUDES THE FURNISHING AND PAYMENT OF ALL MATERIALS...
C. PRODUCTS
A. ALL MANUFACTURED PRODUCTS SHALL BE NEW...
D. METHODS
A. SOIL PREPARATION
1. BEFORE STARTING WORK, THE LANDSCAPE CONTRACTOR SHALL VERIFY THAT THE GRADE OF ALL LANDSCAPE AREAS ARE WITHIN +0.1' OF FINISH GRADE...



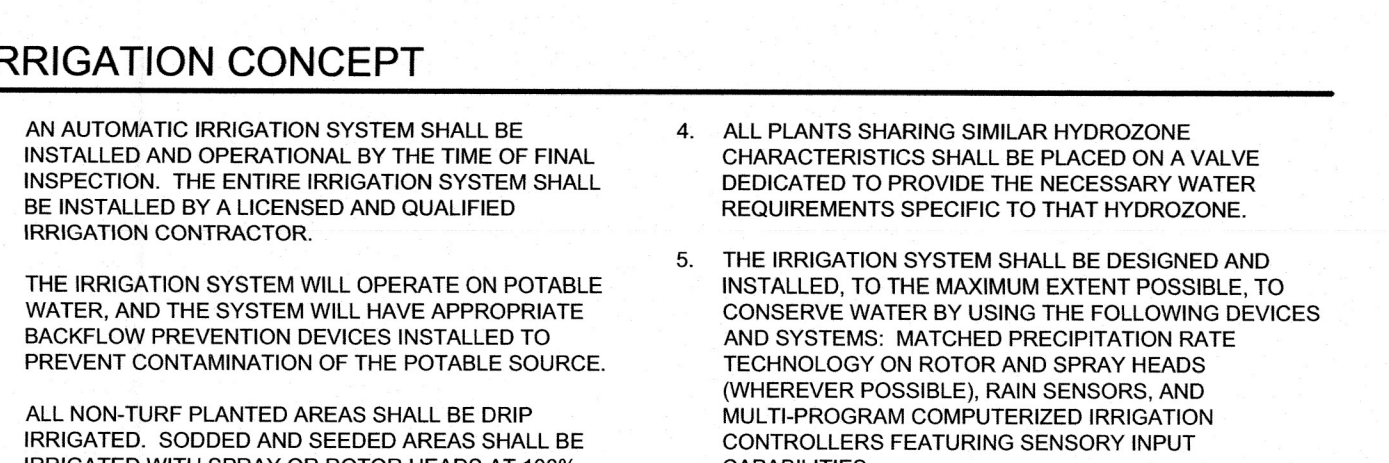
D ROOT BARRIER - PLAN VIEW
SCALE: NOT TO SCALE



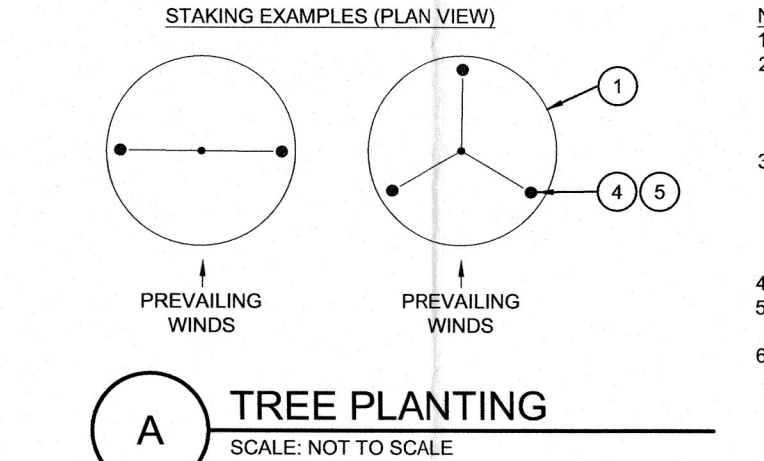
A TREE PLANTING
SCALE: NOT TO SCALE



B SHRUB AND PERENNIAL PLANTING
SCALE: NTS



E PLANTING AT PARKING AREA
SCALE: NOT TO SCALE



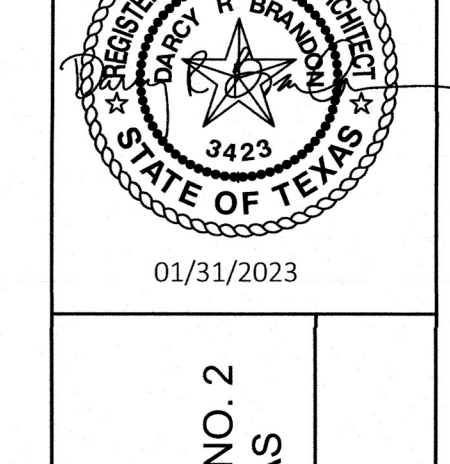
C STEEL EDGING
SCALE: NOT TO SCALE

IRRIGATION CONCEPT
1. AN AUTOMATIC IRRIGATION SYSTEM SHALL BE INSTALLED AND OPERATIONAL BY THE TIME OF FINAL INSPECTION...
2. THE IRRIGATION SYSTEM WILL OPERATE ON POTABLE WATER, AND THE SYSTEM WILL HAVE APPROPRIATE BACKFLOW PREVENTION DEVICES...
3. ALL NON-TURF PLANTED AREAS SHALL BE DRIP IRRIGATED...

NOTES:
1. SCARIFY SIDES OF PLANTING PIT PRIOR TO SETTING TREE.
2. REMOVE EXCESS SOIL APPLIED ON TOP OF THE ROOTBALL THAT COVERS THE ROOT FLARE...
3. FOR 8/8 TREES, CUT OFF BOTTOM 1/3 OF WIRE BASKET BEFORE PLACING TREE IN HOLE...
4. REMOVE ALL NURSERY STAKES AFTER PLANTING...
5. FOR TREES 3/8" BOX/2 5/8" CAL. AND LARGER, USE THREE STAKES OR DEADEN (AS APPROPRIATE), SPACED EVENLY AROUND TREE...
6. STAKING SHALL BE TIGHT ENOUGH TO PREVENT FIN TRUNK BENDING, BUT LOOSE ENOUGH TO ALLOW SOME TRUNK MOVEMENT IN WIND.

Table with columns for NO., DATE, and REVISION.

URBAN STRUCTURE logo and contact information: 8440 Walnut Hill Lane, Suite 905, Dallas, Texas 75231. Tel: 214-995-5775.



ADVANTAGE STORAGE
1701 STATE HIGHWAY 276
CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS

Table with columns for PREPARED ON, CLIENT, DRAWN BY, DESIGNER, REVIEWER, U.S. PROJECT, SHEET TITLE, and SHEET NO.

APPROVED: I HEREBY CERTIFY THAT THE ABOVE AND FOREGOING SITE PLAN FOR A DEVELOPMENT IN THE CITY OF ROCKWALL, TEXAS, WAS APPROVED BY THE PLANNING & ZONING COMMISSION OF THE CITY OF ROCKWALL ON THE 15th DAY OF Sept. 2022.

TREE PROTECTION SPECIFICATIONS

MATERIALS

- FABRIC: 4 FOOT HIGH ORANGE PLASTIC FENCING AS SHOWN ON THE PLANS AND SHALL BE WOVEN WITH 2 INCH MESH OPENINGS SUCH THAT IN A VERTICAL DIMENSION OF 23 INCHES ALONG THE DIAGONALS OF THE OPENINGS THERE SHALL BE AT LEAST 7 MESHES.
- POSTS: POSTS SHALL BE A MINIMUM OF 72 INCHES LONG AND STEEL "T" SHAPED WITH A MINIMUM WEIGHT OF 1.3 POUNDS PER LINEAR FOOT.
- THE WIRE: WIRE FOR ATTACHING THE FABRIC TO THE T-POSTS SHALL BE NOT LESS THAN NO. 12 GAUGE GALVANIZED WIRE.
- USED MATERIALS: PREVIOUSLY-USED MATERIALS, MEETING THE ABOVE REQUIREMENTS AND WHEN APPROVED BY THE OWNER, MAY BE USED.

CONSTRUCTION METHODS

- ALL TREES AND SHRUBS SHOWN TO REMAIN WITHIN THE PROXIMITY OF THE CONSTRUCTION SITE SHALL BE PROTECTED PRIOR TO BEGINNING ANY DEVELOPMENT ACTIVITY.
- EMPLOY THE SERVICES OF AN ISA (INTERNATIONAL SOCIETY OF ARBORICULTURE) CERTIFIED ARBORIST AND OBTAIN ALL REQUIRED PERMITS TO PRUNE THE EXISTING TREES FOR CLEANING, RAISING AND THINNING, AS MAY BE REQUIRED.
- PROTECTIVE FENCING SHALL BE ERECTED OUTSIDE THE CRITICAL ROOT ZONE (CRZ, EQUAL TO 1' FROM THE TRUNK FOR EVERY 1" OF DBH) AT LOCATIONS SHOWN IN THE PLANS OR AS DIRECTED BY THE LANDSCAPE CONSULTANT AND/OR CITY ARBORIST. AND IN ACCORDANCE WITH THE DETAILS SHOWN ON THE PLANS. FENCING SHALL BE MAINTAINED AND REPAIRED BY THE CONTRACTOR DURING SITE CONSTRUCTION. TREES IN CLOSE PROXIMITY SHALL BE FENCED TOGETHER, RATHER THAN INDIVIDUALLY.
- PROTECTIVE FENCE LOCATIONS IN CLOSE PROXIMITY TO STREET INTERSECTIONS OR DRIVES SHALL ADHERE TO THE APPLICABLE JURISDICTION'S SIGHT DISTANCE CRITERIA.
- THE PROTECTIVE FENCING SHALL BE ERECTED BEFORE SITE WORK COMMENCES AND SHALL REMAIN IN PLACE DURING THE ENTIRE CONSTRUCTION PHASE.
- THE INSTALLATION POSTS SHALL BE PLACED EVERY 6 FEET ON CENTER AND EMBEDDED TO 18 INCHES DEEP. MESH FABRIC SHALL BE ATTACHED TO THE INSTALLATION POSTS BY THE USE OF SUFFICIENT WIRE TIES TO SECURELY FASTEN THE FABRIC TO THE T-POSTS TO HOLD THE FABRIC IN A STABLE AND UPRIGHT POSITION.
- WITHIN THE CRZ:
 - DO NOT CLEAR, FILL OR GRADE IN THE CRZ OF ANY TREE.
 - DO NOT STORE, STOCKPILE OR DUMP ANY JOB MATERIAL, SOIL OR RUBBISH UNDER THE SPREAD OF THE TREE BRANCHES.
 - DO NOT PARK OR STORE ANY EQUIPMENT OR SUPPLIES UNDER THE TREE CANOPY.
 - DO NOT SET UP ANY CONSTRUCTION OPERATIONS UNDER THE TREE CANOPY (SUCH AS PIPE CUTTING AND THREADING, MORTAR MIXING, PAINTING OR LUMBER CUTTING).
 - DO NOT NAIL OR ATTACH TEMPORARY SIGNS METERS, SWITCHES, WIRES, BRACING OR ANY OTHER ITEM TO THE TREES.
 - DO NOT PERMIT RUNOFF FROM WASTE MATERIALS INCLUDING SOLVENTS, CONCRETE WASHOUTS, ASPHALT TACK COATS (MC-30 OIL), ETC. TO ENTER THE CRZ. BARRIERS ARE TO BE PROVIDED TO PREVENT SUCH RUNOFF SUBSTANCES FROM ENTERING THE CRZ WHENEVER POSSIBLE, INCLUDING IN AN AREA WHERE RAIN OR SURFACE WATER COULD CARRY SUCH MATERIALS TO THE ROOT SYSTEM OF THE TREE.
- ROUTE UNDERGROUND UTILITIES TO AVOID THE CRZ. IF DIGGING IS UNAVOIDABLE, BORE UNDER THE ROOTS, OR HAND DIG TO AVOID SEVERING THEM.

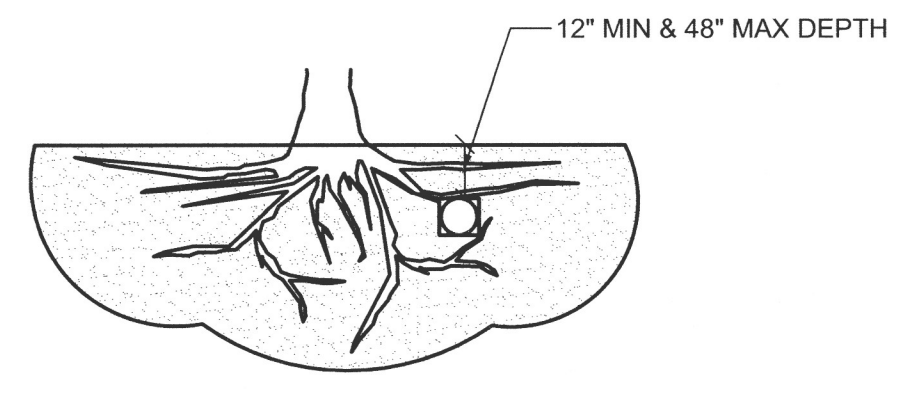
- WHERE EXCAVATION IN THE VICINITY OF TREES MUST OCCUR, SUCH AS FOR IRRIGATION INSTALLATION, PROCEED WITH CAUTION, AND USING HAND TOOLS ONLY.
- THE CONTRACTOR SHALL NOT CUT ROOTS LARGER THAN ONE INCH IN DIAMETER WHEN EXCAVATION OCCURS NEAR EXISTING TREES. ALL ROOTS LARGER THAN ONE INCH IN DIAMETER ARE TO BE CUT CLEANLY, FOR OAKS ONLY. ALL WOUNDS SHALL BE PAINTED WITH WOUND SEALER WITHIN 30 MINUTES
- REMOVE ALL TREES, SHRUBS OR BUSHES TO BE CLEARED FROM PROTECTED ROOT ZONE AREAS BY HAND.
- TREES DAMAGED OR KILLED DUE TO CONTRACTOR'S NEGLIGENCE DURING CONSTRUCTION SHALL BE MITIGATED AT THE CONTRACTOR'S EXPENSE AND TO THE PROJECT OWNER'S AND LOCAL JURISDICTION'S SATISFACTION.
- ANY TREE REMOVAL SHALL BE APPROVED BY THE OWNER AND LOCAL JURISDICTION PRIOR TO ITS REMOVAL, AND THE CONTRACTOR SHALL HAVE ALL REQUIRED PERMITS FOR SUCH ACTIVITIES.
- COVER EXPOSED ROOTS AT THE END OF EACH DAY WITH SOIL, MULCH OR WET BURLAP.
- IN CRITICAL ROOT ZONE AREAS THAT CANNOT BE PROTECTED DURING CONSTRUCTION AND WHERE HEAVY TRAFFIC IS ANTICIPATED, COVER THE SOIL WITH EIGHT INCHES OF ORGANIC MULCH TO MINIMIZE SOIL COMPACTION. THIS EIGHT INCH DEPTH OF MULCH SHALL BE MAINTAINED THROUGHOUT CONSTRUCTION.
- WATER ALL TREES IMPACTED BY CONSTRUCTION ACTIVITIES, DEEPLY ONCE A WEEK DURING PERIODS OF HOT DRY WEATHER. SPRAY TREE CROWNS WITH WATER PERIODICALLY TO REDUCE DUST ACCUMULATION ON THE LEAVES.
- WHEN INSTALLING CONCRETE ADJACENT TO THE ROOT ZONE OF A TREE, USE A PLASTIC VAPOR BARRIER BEHIND THE CONCRETE TO PROHIBIT LEACHING OF LIME INTO THE SOIL.
- CONTRACTOR SHALL REMOVE AND DISPOSE OF ALL TREE PROTECTION FENCING WHEN ALL THREATS TO THE EXISTING TREES FROM CONSTRUCTION-RELATED ACTIVITIES HAVE BEEN REMOVED.

TREE PROTECTION GENERAL NOTES

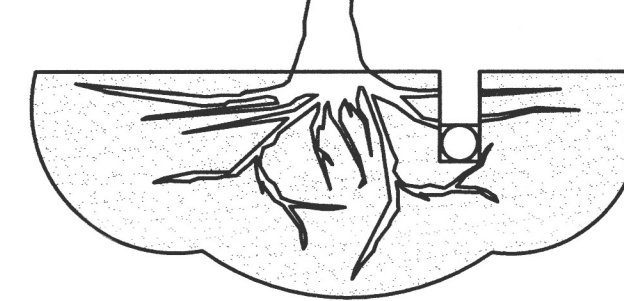
- PRIOR TO THE LAND CLEARING STAGE OF DEVELOPMENT, THE CONTRACTOR SHALL CLEARLY MARK ALL PROTECTED TREES FOR WHICH A TREE REMOVAL PERMIT HAS NOT BEEN ISSUED AND SHALL ERECT BARRIERS FOR THE PROTECTION OF THE TREES ACCORDING TO THE FOLLOWING:
 - AROUND AN AREA AT OR GREATER THAN A SIX-FOOT RADIUS OF ALL SPECIES OF MANGROVES AND PROTECTED CABBAGE PALMS;
 - AROUND AN AREA AT OR GREATER THAN THE FULL DRIPLINE OF ALL PROTECTED NATIVE PINES;
 - AROUND AN AREA AT OR GREATER THAN TWO-THIRDS OF THE DRIPLINE OF ALL OTHER PROTECTED SPECIES.
- NO PERSON SHALL ATTACH ANY SIGN, NOTICE OR OTHER OBJECT TO ANY PROTECTED TREE OR FASTEN ANY WIRES, CABLES, NAILS OR SCREWS TO ANY PROTECTED TREE IN ANY MANNER THAT COULD PROVE HARMFUL TO THE PROTECTED TREE, EXCEPT AS NECESSARY IN CONJUNCTION WITH ACTIVITIES IN THE PUBLIC INTEREST.
- DURING THE CONSTRUCTION STAGE OF DEVELOPMENT, THE CONTRACTOR SHALL NOT CAUSE OR PERMIT THE CLEANING OF EQUIPMENT OR MATERIAL WITHIN THE OUTSIDE PERIMETER OF THE CROWN (DRIPLINE) OR ON THE NEARBY GROUND OF ANY TREE OR GROUP OF TREES WHICH IS TO BE PRESERVED. WITHIN THE OUTSIDE PERIMETER OF THE CROWN (DRIPLINE) OF ANY TREE OR ON NEARBY GROUND, THE CONTRACTOR SHALL NOT CAUSE OR PERMIT STORAGE OF BUILDING MATERIAL AND/OR EQUIPMENT, OR DISPOSAL OF WASTE MATERIAL SUCH AS PAINTS, OIL, SOLVENTS, ASPHALT, CONCRETE, MORTAR OR ANY OTHER MATERIAL HARMFUL TO THE LIFE OF THE TREE.
- NO PERSON SHALL PERMIT ANY UNNECESSARY FIRE OR BURNING WITHIN 30 FEET OF THE DRIPLINE OF A PROTECTED TREE.
- ANY LANDSCAPING ACTIVITIES WITHIN THE BARRIER AREA SHALL BE ACCOMPLISHED WITH HAND LABOR.
- PRIOR TO ISSUING A CERTIFICATE OF OCCUPANCY OR COMPLIANCE FOR ANY DEVELOPMENT, BUILDING OR STRUCTURE, ALL TREES DESIGNATED AND PRESERVED THAT WERE DESTROYED DURING CONSTRUCTION SHALL BE REPLACED BY THE CONTRACTOR WITH TREES OF EQUIVALENT DIAMETER AT BRESTH HEIGHT TREE CALIPER AND OF THE SAME SPECIES AS SPECIFIED BY THE CITY ADMINISTRATOR, BEFORE OCCUPANCY OR USE, UNLESS APPROVAL FOR THEIR REMOVAL HAS BEEN GRANTED UNDER PERMIT.
- THE CITY ADMINISTRATOR MAY CONDUCT PERIODIC INSPECTIONS OF THE SITE DURING LAND CLEARANCE AND CONSTRUCTION.
- IF, IN THE OPINION OF THE CITY ADMINISTRATOR, DEVELOPMENT ACTIVITIES WILL SO SEVERELY STRESS SLASH PINES OR ANY OTHER PROTECTED TREE SUCH THAT THEY ARE MADE SUSCEPTIBLE TO INSECT ATTACK, PREVENTATIVE SPRAYING OF THESE TREES BY THE CONTRACTOR MAY BE REQUIRED.

TREES THAT ARE MARKED TO BE PRESERVED ON A SITE PLAN AND FOR WHICH UTILITIES MUST PASS THROUGH THEIR ROOT PROTECTION ZONES MAY REQUIRE TUNNELING AS OPPOSED TO OPEN TRENCHES. THE DECISION TO TUNNEL WILL BE DETERMINED ON A CASE BY CASE BASIS BY THE ENGINEER.

TUNNELS SHALL BE DUG THROUGH THE ROOT PROTECTION ZONE IN ORDER TO MINIMIZE ROOT DAMAGE.



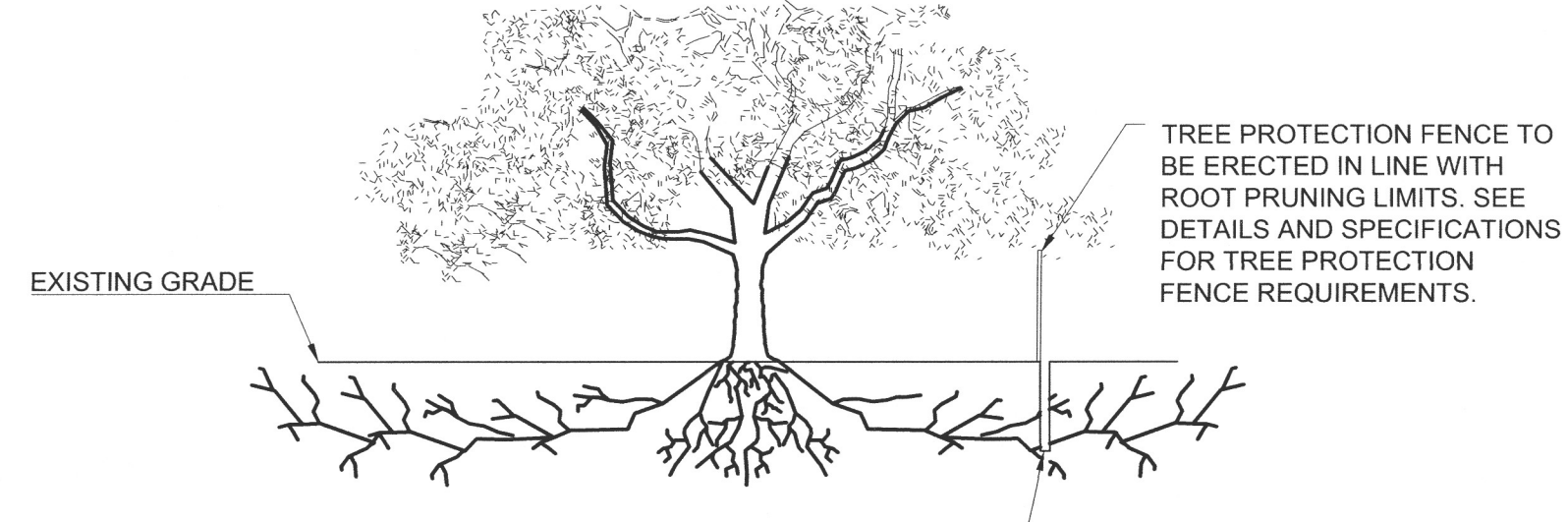
TUNNEL TO MINIMIZE ROOT DAMAGE (TOP) AS OPPOSED TO SURFACE-DUG TRENCHES IN ROOT PROTECTION ZONE WHEN THE 5' MINIMUM DISTANCE FROM TRUNK CAN NOT BE ACHIEVED.



C BORING THROUGH ROOT PROTECTION ZONE
SCALE: NOT TO SCALE

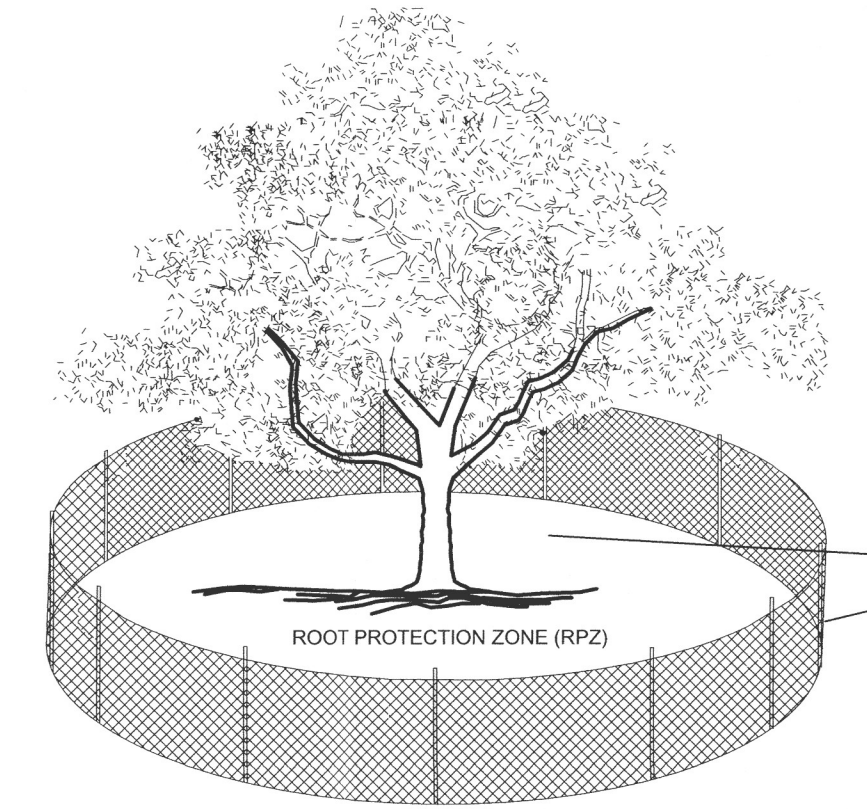
NOTES

- RETENTION AREAS WILL BE SET AS PART OF THE REVIEW PROCESS AND PRE-CONSTRUCTION MEETING.
- BOUNDARIES OF RETENTION AREAS MUST BE STAKED AT THE PRE-CONSTRUCTION MEETING AND FLAGGED PRIOR TO ROOT PRUNING.
- EXACT LOCATION OF ROOT PRUNING SHALL BE DETERMINED IN THE FIELD IN COORDINATION WITH THE FORESTRY INSPECTOR.
- TRENCH SHOULD BE IMMEDIATELY BACKFILLED WITH EXCAVATED SOIL OR OTHER ORGANIC SOIL AS SPECIFIED PER PLAN OR BY THE FORESTRY INSPECTOR.
- ROOTS SHALL BE CLEANLY CUT USING VIBRATORY KNIFE OR OTHER ACCEPTABLE EQUIPMENT. ROOT PRUNING METHODS AND MEANS MUST BE IN ACCORDANCE WITH ANSI STANDARD A3000.
- ALL PRUNING MUST BE EXECUTED AT LOD SHOWN ON PLANS OR AS AUTHORIZED IN WRITING BY THE FORESTRY INSPECTOR.
- SUPPLEMENTAL WATERING MAY BE REQUIRED FOR ROOT PRUNED TREES THROUGHOUT THE GROWING SEASON DURING CONSTRUCTION AND SUBSEQUENT WARRANTY AND MAINTENANCE PERIOD.



D ROOT PRUNING DETAIL
SCALE: NOT TO SCALE

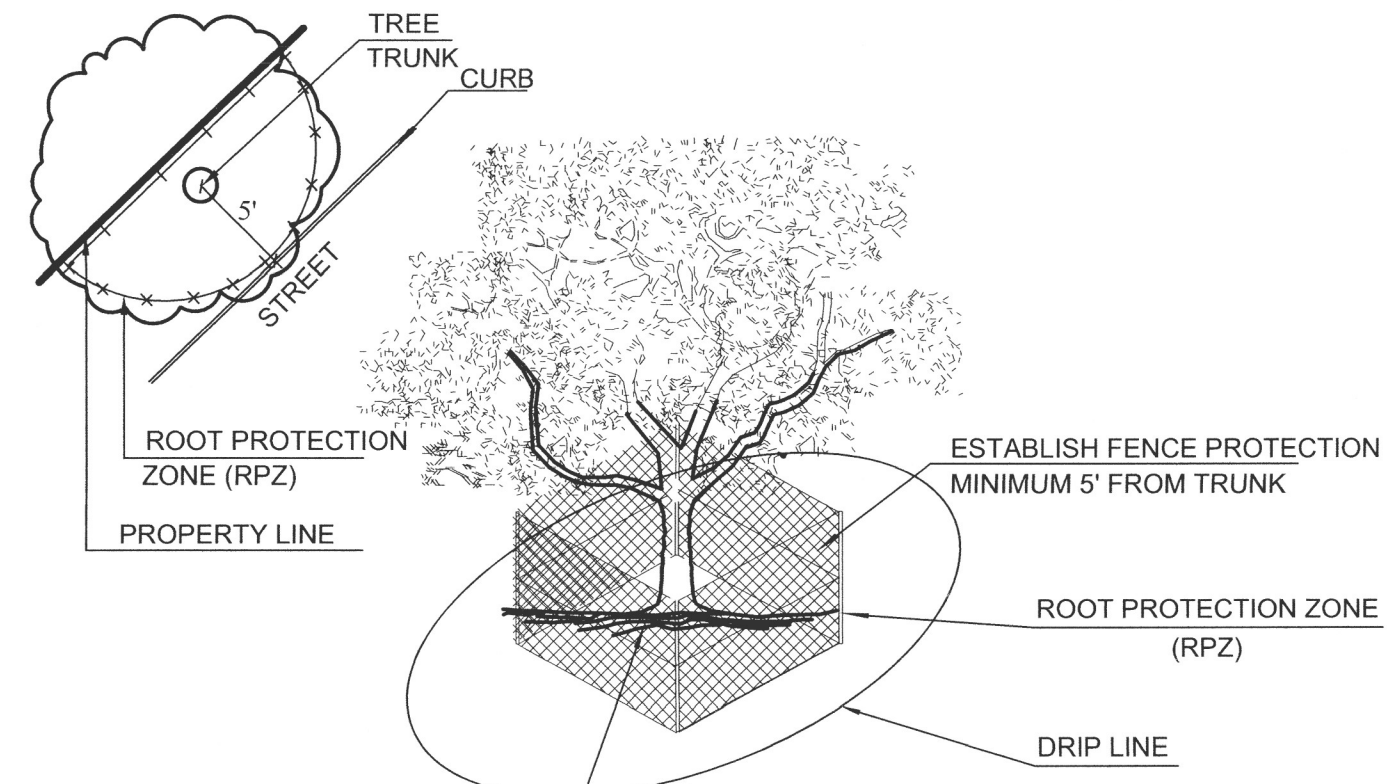
ROOT PRUNE VIA AIRSPACE OR TRENCH (6" WIDE MAX.) 24" MIN. DEPTH OR AS DETERMINED AT PRE-CONSTRUCTION MEETING.



NOTES:

- THE FENCING LOCATION SHOWN ABOVE IS DIAGRAMATIC ONLY AND WILL CONFORM TO THE DRIP LINE AND BE LIMITED TO PROJECT BOUNDARY. WHERE MULTIPLE ADJACENT TREES WILL BE ENCLOSED BY FENCING, THE FENCING SHALL BE CONTINUOUS AROUND ALL TREES.
- FOR ACCEPTABLE FENCING MATERIALS SEE SPECIFICATIONS.

A TREE PROTECTION FENCE
SCALE: NOT TO SCALE



B TREE PROTECTION FENCE - TIGHT CONSTRUCTION
SCALE: NOT TO SCALE



TEL: 214.295.5775

www.urbanstruct.com



ADVANTAGE STORAGE
1701 STATE HIGHWAY 276
OUT OF THE JAMES M. ALLEN SURVEY, ABSTRACT NO. 2
CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS

TRESCAPE DETAILS & SPECS

PREPARED ON: 07/14/2022	CLIENT: ADVANTAGE STORAGE
DRAWN BY: LL	DESIGNER: LL
REVIEWER: BP	U.S. PROJECT: 22577

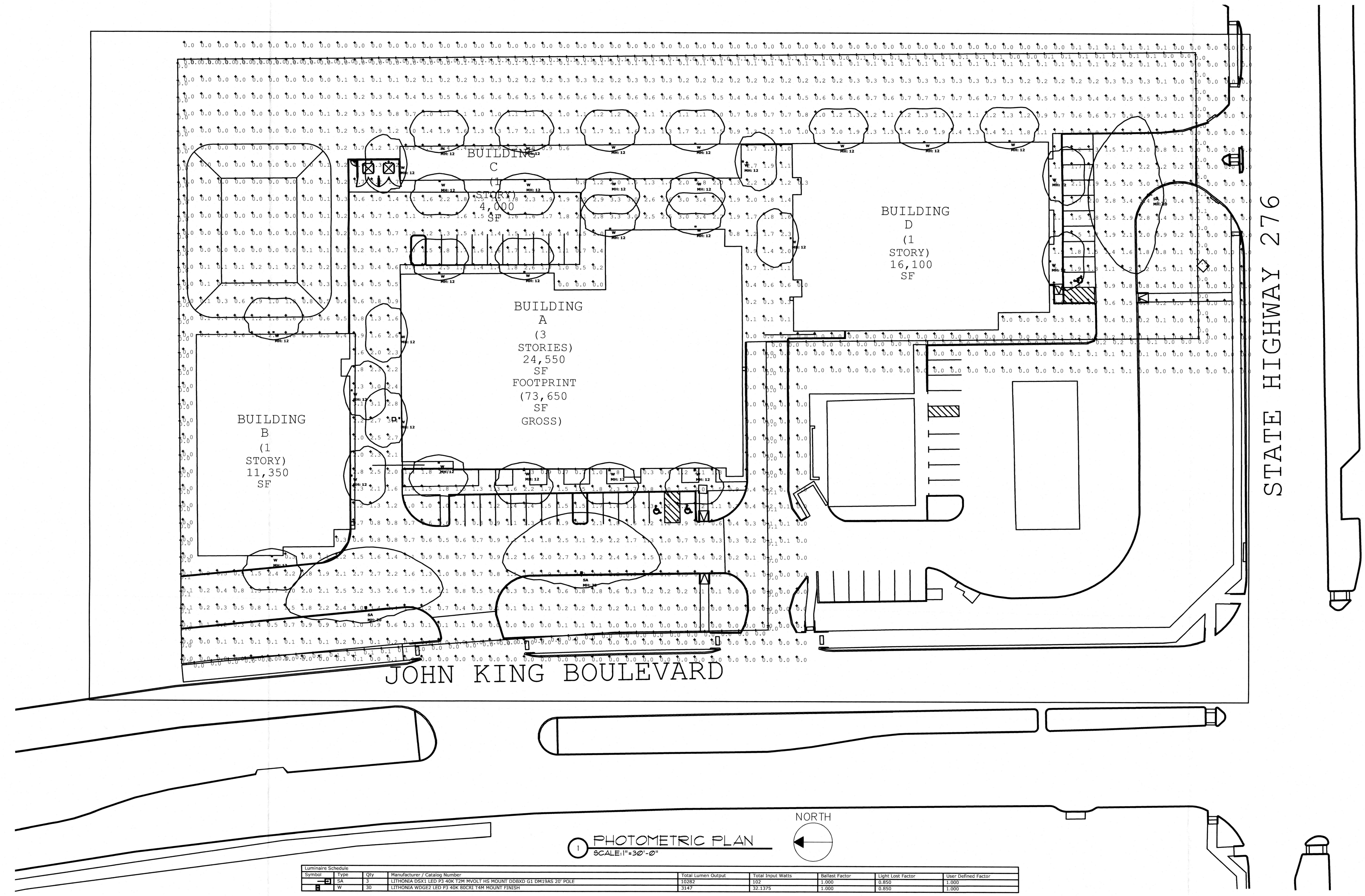
SHEET
TD-2

APPROVED:
I HEREBY CERTIFY THAT THE ABOVE AND FOREGOING SITE PLAN FOR A DEVELOPMENT IN THE CITY OF ROCKWALL, TEXAS, WAS APPROVED BY THE PLANNING & ZONING COMMISSION OF THE CITY OF ROCKWALL ON THE 13th DAY OF Sept., 2022.

WITNESS OUR HANDS, THIS 14th DAY OF March, 2023.

PLANNING & ZONING COMMISSION, CHAIRMAN
DIRECTOR OF PLANNING AND ZONING

NO.	DESCRIPTION	DATE
1	FOR REVIEW	1-3-2022



Symbol	Type	Qty	Manufacturer / Catalog Number	Total Lumen Output	Total Input Watts	Ballast Factor	Light Loss Factor	User Defined Factor
□	CA	2	LITHONIA DISK LED P3 40K 12M P/OL T H/ MOUNT DOBKO G1 OH19AS 20' POLE	10292	102	1.000	0.850	1.000
□	W	30	LITHONIA WIDGEZ LED P3 40K 80CRI T4M MOUNT FINISH	3247	32.1375	1.000	0.850	1.000

Calculation Location	Calc. Height (FT.)	Units	Avg	Max	Min	Avg/Min
PROPERTY LINE	N.A.	Fc	0.03	0.2	0.0	N.A.
PARKING ABC & DRIVEWAY		Fc	1.41	3.4	0.0	N.A.
PARKING D & DRIVEWAY		Fc	1.37	3.4	0.0	N.A.

Location	Minimum (Fc)	Average (Fc)	Maximum (Fc)
PARKING ABC & DRIVEWAY	0.0	1.41	3.4
PARKING D & DRIVEWAY	0.0	1.37	3.4

APPROVED:
I hereby certify that the above and foregoing site plan for development in the City of Rockwall, Texas, was approved by the Planning and Zoning Commission on the 15th day of Sept. 2022.

[Signature]
Director of Planning & Zoning
Chairman

photometric plan

ADVANTAGE ROCKWALL
1701 STATE HIGHWAY 276
Rockwall, Tx

PROJECT NUMBER
-
DATE
12.27.22
SHEET NUMBER
PM1.0

PROJECT COMMENTS



CITY OF ROCKWALL
385 S. GOLIAD STREET
ROCKWALL, TEXAS 75087
PHONE: (972) 771-7700

DATE: 1/24/2025

PROJECT NUMBER: Z2025-001
PROJECT NAME: PD Development Plan for Rockwall Townhomes
SITE ADDRESS/LOCATIONS: Glen Hill Way

CASE CAPTION: Hold a public hearing to discuss and consider a request by Tyler Adams of Greenlight Studio on behalf of Matt Zahm of ZAPA Investments, LLC for the approval of a PD Development Plan for eight (8) Townhomes on a 0.87-acre parcel of land identified as Lot 3, Block A, Harbor Hills Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 32 (PD-32), situated within the Interior Subdistrict and the Residential Subdistrict, generally located on the northeast side of Glen Hill Way, northwest of the intersection of Glen Hill Way and Ridge Road [FM-740], and take any action necessary.

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
	Henry Lee	01/24/2025	Needs Review

01/24/2025: Please address the following comments (M= Mandatory Comments; I = Informational Comments).

I.1 This is a request for the approval of a PD Development Plan for eight (8) Townhomes on a 0.87-acre parcel of land identified as Lot 3, Block A, Harbor Hills Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 32 (PD-32), situated within the Interior Subdistrict and the Residential Subdistrict, generally located on the northeast side of Glen Hill Way, northwest of the intersection of Glen Hill Way and Ridge Road [FM-740].

I.2 For questions or comments concerning this case please contact Henry Lee in the Planning Department at (972) 772-6434 or email hlee@rockwall.com.

M.3 Planned Development District 32 (PD-32) only has seven (7) townhome units remaining for the District. Given this, as part of the PD Development Plan you are requesting the addition of one (1) townhome to the district.

I.4 Anti-Monotony. The front building elevations of a home shall not repeat along any block face without at least five (5) intervening homes of differing appearance on the same side of the street and six (6) intervening homes of differing appearance on the opposite side of the street. The rear elevation of homes backing to open spaces or thoroughfares shall not repeat without at least five (5) intervening homes of differing appearance. Identical building material blends and colors may not occur on adjacent (side by-side) properties. Homes are considered to differ in appearance if any three (3) elements are different:

- (1) The number of stories of the home.
- (2) The garage location/orientation on the home.
- (3) The roof type and layout of the home.
- (4) The articulation of the front façade of the home.

M.5 Based on comment I.4, the proposed townhomes do not meet the anti-monotony requirements. More specifically, adjacent townhomes use the same material blend and colors, and they do not vary in the number of stories or have different garage orientations

M.6 Planned Development District 32 (PD-32) provides an exhibit of a Mew street; however, dimensions are not provided. This is because the Mew must meet Engineering and Fire Department Standards. In this case, the Mew must be a minimum of 24-feet wide (i.e. minimum fire lane width) and have 30-foot radii (i.e. minimum radius for buildings over

30-feet in height). Included with a Mew street is an enhanced pedestrian walkway, which shall include enhanced paving, landscaping, and lighting.

M.7 Within Planned Development District 32 (PD-32) the subject property is located in the Residential Sub-District. The Residential Sub-District has its own specific requirements and guidelines. The following comments detail how the proposed townhomes vary from these requirements and guidelines. Staff should note that as part of the PD Development Plan process you may vary these requirements, but staff will be obligated to inform the Planning and Zoning Commission and City Council how the plan varies.

- (1) A minimum of 65% if the front façade must be at the build line. In this case, given the curved street the lots do not have a square frontage, which makes this a difficult standard to meet and is not an unreasonable thing to vary from.
- (2) All lots shall be a minimum of 30' x 90'. In this case, not all of the lots are a minimum of 30-feet wide or 90-feet deep.
- (3) The maximum building height is 36-feet. In this case, the maximum building height exceeds 36-feet.
- (4) Garages must be rear loaded from an alley. In this case, the back building utilizes front entry garages.
- (5) Massing may be either symmetrical or asymmetrical. The dominant architectural mass shall be located near the center of the composition. In this case, there does not appear to be a dominant architectural feature near the center of the buildings.
- (6) All exterior doors shall be wood or metal, hinged, of rail and stile construction, with one (1) to six (6) panels. Panels shall be glazed or flat wood (not raised panels).
- (7) Windows shall be glazed by a single panel of insulated glass, or may be divided into no more than four (4) panels. Fake mullions are discouraged. In this case, it appears that there are more than four (4) panels per window.

M.8 In addition to the Planned Development District 32 (PD-32) Ordinance that contains the form-based code, there is a separate resolution that contains the PD-32 Design Guidelines. The following comments relate to the proposed plans conformance to these guidelines.

- (1) Entry doors shall be solid single panel doors. In this case, the entry doors appear to be double/French doors.
- (2) Standard brick masonry units, non-standard size brick, native natural stone masonry shall be used on 60% or more on each façade. The proposed elevations do not meet this guideline.
- (3) Secondary (i.e. three-part stucco) materials shall be used on 35% or more of each façade. The proposed elevations meet this guideline; however, there is too much to meet the other material guidelines.
- (4) Pre-cast stone may be used as an accent material on 5% or more of each façade. In this case, the proposed elevations do not utilize the cast stone as an accent material.
- (5) All masonry, stone, and secondary materials must be earth tone, and shall not be white. The proposed elevations appear to incorporate white masonry and stucco.

I.9 Staff has provided a packet containing the regulations and guidelines relevant to this project, where the deficiencies were detailed in comments M.6 – M.8.

M.10 Please review the attached draft ordinance prior to the January 28, 2025 Planning & Zoning Commission meeting, and provide staff with your markups by February 4, 2025.

I.11 Staff has identified the aforementioned items necessary to continue the submittal process. Please make these revisions and corrections, and provide any additional information that is requested. Revisions for this case will be due on February 4, 2025; however, it is encouraged for applicants to submit revisions as soon as possible to give staff ample time to review the case prior to the February 11, 2025 Planning and Zoning Commission Public Hearing Meeting. The Planning and Zoning Commission Work Session Meeting for this case will be held on January 28, 2025.

I.12 The projected City Council meeting dates for this case will be February 18, 2025 (1st Reading) and March 3, 2025 (2nd Reading).

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
ENGINEERING	Madelyn Price	01/23/2025	Approved w/ Comments

01/23/2025: 1. No dedicated lot for wall. Put wall within HOA Drainage lot and HOA will maintain wall and drainage.

2. Min. sidewalk width is 6' if on back of pavement. Same question as above...if you want sidewalks inside this development along the private roadway they will need to be outside of the 24' fire lane.

3. Pavement width is minimum 24' for fire access. Please dimension the roadway. Is the "stamped concrete accent" part of the fire lane because it will need to be striped as fire lane

4. What is HOA Access Lot? are you referring to the roadway? Label as private road.

5. Remove tree from drainage easement.
6. Revise landscape plan to match proposed site plan.
7. Min 20'x20'
8. This is the fire lane/drive aisle. Minimum 24'. Check with Fire Marshal regarding pedestrian access and striping requirements.

General Comments:

General Items:

- Must meet City 2023 Standards of Design and Construction
- 4% Engineering Inspection Fees
- Impact Fees (Water, Sewer, Roadway).
- Minimum easement width is 20' for new easements. No structures including walls allowed in easements.
- Retaining walls 3' and over must be engineered.
- All retaining walls (18" or taller) must be rock or stone face. No smooth concrete walls.
- Required 10' utility easement along all street frontages.
- All utilities must be underground.
- No structures or fences within easements.
- No signage is allowed within easements or ROW.
- Tree mitigation will be required when removing existing trees on the property.
- Utility easements may not cross through or between residential properties. Must be in a HOA maintained lot.
- Need to show existing and proposed utilities on the Site Plan.
- Additional comments may be provided at time of Site Plan and Engineering Design.

Drainage Items:

- Glen Hill Way as-built flow patterns must be maintained.
- Drainage may not be increased towards any direction.
- Drainage calculations are based on property zoning, not land area use.
- The property owner will be responsible for maintaining, repair, and replacement of the detention/drainage systems.
- No grate inlets allowed
- Lot to Lot drainage is not allowed.
- Lakefront Trail Storm Sewer Pro-Rata must be paid (\$7,226.59/acre)

Water and Wastewater Items:

- Site plan must show existing/proposed utility lines (Water, Sewer, etc.)
- Infrastructure study is required. Review fees apply.
- Any public water lines must be a minimum of 8", looped, and must be in a 20' wide easement. (Meet City of Rockwall Standards of Design and Construction)
- There are two existing 8" water main stub outs located along Gen Hill Way available for use, but it must be looped.
- There is an existing 8" sewer main located near the northern property line available for use, but will need to be extended in an easement along Glen Hill Way to the southern homes.
- Public sewer to be 8" minimum.
- Any utility connection made underneath of an existing roadway must be completed by dry bore. Opening cutting will not be allowed.
- All utility crossings must be by dry bore and steel encased.
- Only one "use" off a dead-end line (domestic, irrigation, fire sprinkler, fire hydrant, etc.)
- Min 20' utility easements.
- All public utilities must be centered in easement.
- Water to be 10' separated from storm and sewer lines.
- Utilities may not cross through a property. Must be within own HOA lot within an easement. Minimum 20' wide.
- Provide water main stubs and wastewater stubs to all adjacent properties for future/existing development connection points.
- 10' utility easement required along all ROW.

Paving Items:

- All Residential Streets to be concrete, 50' ROW, 29' back-to-back paving minimum with 5' sidewalk on each side. If proposing a new street, need proposed section. Pavement width is minimum 24'. Streets must be curb and gutter style. No asphalt or rock streets.
- Streets adjacent to a public park or open space must have 60' ROW and 41' B-B street section
- No dead-end streets allowed. Must have a cul-de-sac or turnaround per City Standards.
- Cul-de-sac dimensions must meet City of Rockwall Standards.
- City driveway spacing requirements must be met.
- All parking to be 20'x9' for 90 degree parking or 22'x9' for parallel.
- All visibility clips, for both drives, will need to be engineered with ex. horizontal and vertical curves taken into consideration.

Landscaping:

- No trees to be with 10' of any public water, sewer or storm line that is 10" in diameter or larger.
- No trees to be with 5' of any public water, sewer, or storm line that is less than 10".
- No landscape berms or tree plantings shall be located on top of City utilities or within easements.

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
BUILDING	Craig Foshee	01/23/2025	Approved

No Comments

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
FIRE	Ariana Kistner	01/21/2025	Needs Review

01/21/2025: Fire apparatus roadway:

1. Indicate proposed fire apparatus roadway. The fire apparatus roadway shall extend to within 150 feet of all portions of the exterior walls of the first story of the building as measured by an approved route around the exterior of the building. (Exceptions may apply.)
2. Approved aerial fire apparatus access roads shall be provided. Aerial fire apparatus access roadway shall be a minimum of 15 feet to a maximum of 30-foot from the building and shall be positioned parallel to one entire side of the building.

Fire Sprinkler Protection:

1. Indicate the type of fire sprinkler system proposed in each unit. Additional requirements may apply once the system type is determined.

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
GIS	Lance Singleton	01/21/2025	Approved

No Comments

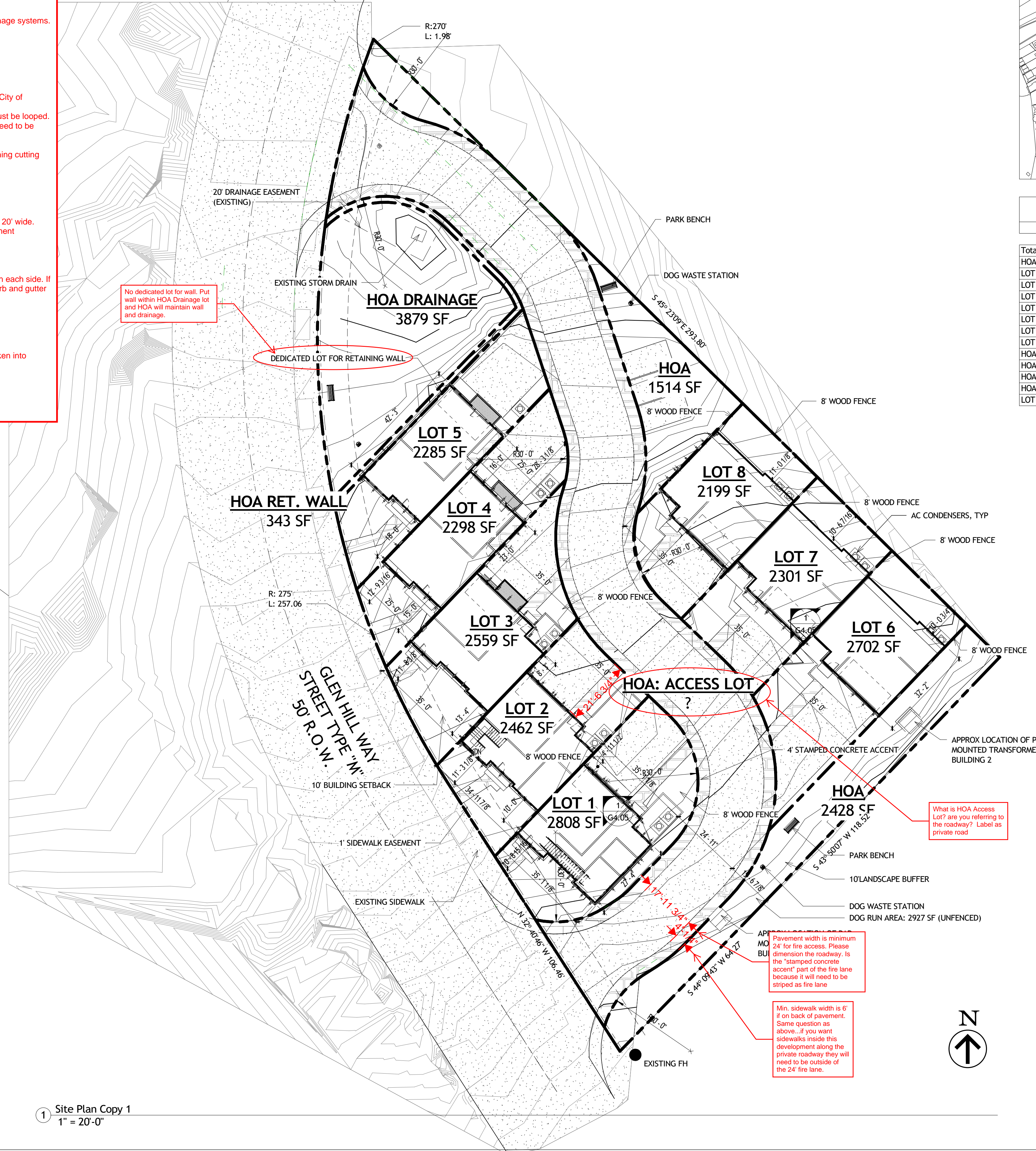
DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
POLICE	Chris Cleveland	01/22/2025	Approved

No Comments

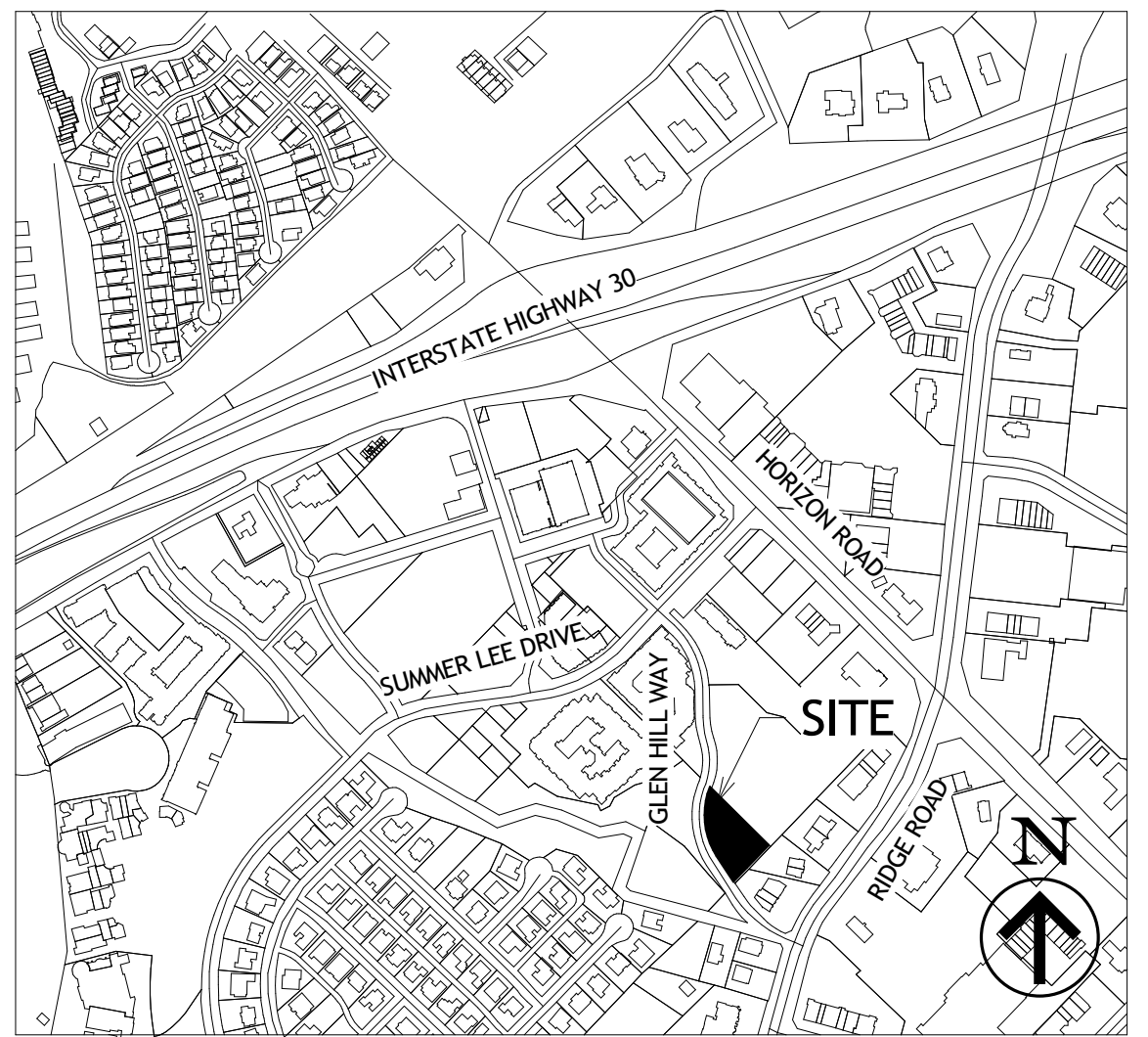
DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
PARKS	Travis Sales	01/21/2025	Approved w/ Comments

- 01/21/2025:
1. Crape Myrtles and Red Buds (30 gallon) need to be 4' tall t time of planting
 2. Check you detention calculations as you show (5) Red Oaks
Detention requires (1) Canopy per 750sqft and (1) accent per 1,500sqft that requires (5) Canopy and (3) Accent
 3. You cannot count the existing city planted trees as a part of your landscape requirements
 4. Existing irrigation on rights of was please contact parks for line locates

- General Items:**
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 - 4% Engineering Inspection Fees
 - Impact Fees (Water, Sewer, Roadway).
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 - Min 20" utility easements.
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 - Water to be 10' separated from storm and sewer lines.
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VICINITY MAP



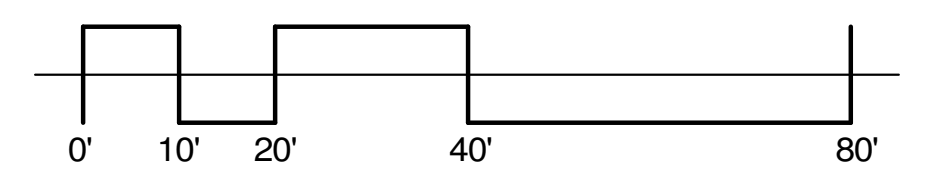
Property Schedule	
Name	Area
Total	37936 SF
HOA: ACCESS LOT	
LOT 5	2285 SF
LOT 4	2298 SF
LOT 3	2559 SF
LOT 2	2462 SF
LOT 6	2702 SF
LOT 7	2301 SF
LOT 8	2199 SF
HOA RET. WALL	343 SF
HOA DRAINAGE	3879 SF
HOA	2428 SF
HOA	1514 SF
LOT 1	2808 SF

Site Data Summary Table

General Site Data	
Zoning	PD-32 Residential Subdistrict
Existing Use	Vacant
Proposed Land Use	Single Family Attached (Townhomes)
Lot Area Combined (SF)	37,935
Lot Area Combined (Acreage)	0.87
Building Footprint Area (Approximate)	9,363
Area Covered by Canopy	0
Single Family Attached Units	8
Unit Density Per Acre	9.2
Building 1 Area	16,506
Building 2 Area	10,521
Total Building Area	27,027
Maximum Building Height (# Stories)	3
Maximum Building Height (Feet)	50' to Roof Ridge
Lot Coverage	25%
Floor Area Ratio	5/7

Parking	
Required Parking 2 Per unit	16
Parking Provided	
Uncovered Surface Spaces (Guest)	3
Garage Spaces	16
Tandem (Driveway) Spaces	16
Total Parking Provided	35
Accessible Parking Required	N/A
Accessible Parking Provided	0

Landscaping Area	
Open Space Required	
Required area per zoning	N/A
Total Open Space Provided	4,822
Other Landscape area within the lot	10,672
Total Landscape Area	15,494
Impervious Area	
Building Area	9,363
Sidewalks, Pavement, and other Impervious Flatwork	9,896
Other Impervious Area (Decorative Stamped Concrete)	3,182
Total Impervious Area	22,441
Total Landscape Area, Impervious Area, Permeable Area	37,935
Total Area for Outdoor Storage	None

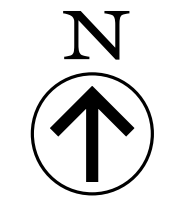


GREENLIGHT

STUDIO, LLC
www.greenlightcompany

Applicant:
Greenlight Studio LLC
100 N. Cottonwood Drive
Suite 104
Richardson, Texas 75080
v: 214.810.4335

Owner:
Zappo Investments, LLC
201 W. Kaufman St.
Richardson, Texas 75081
v: 972.862.1435

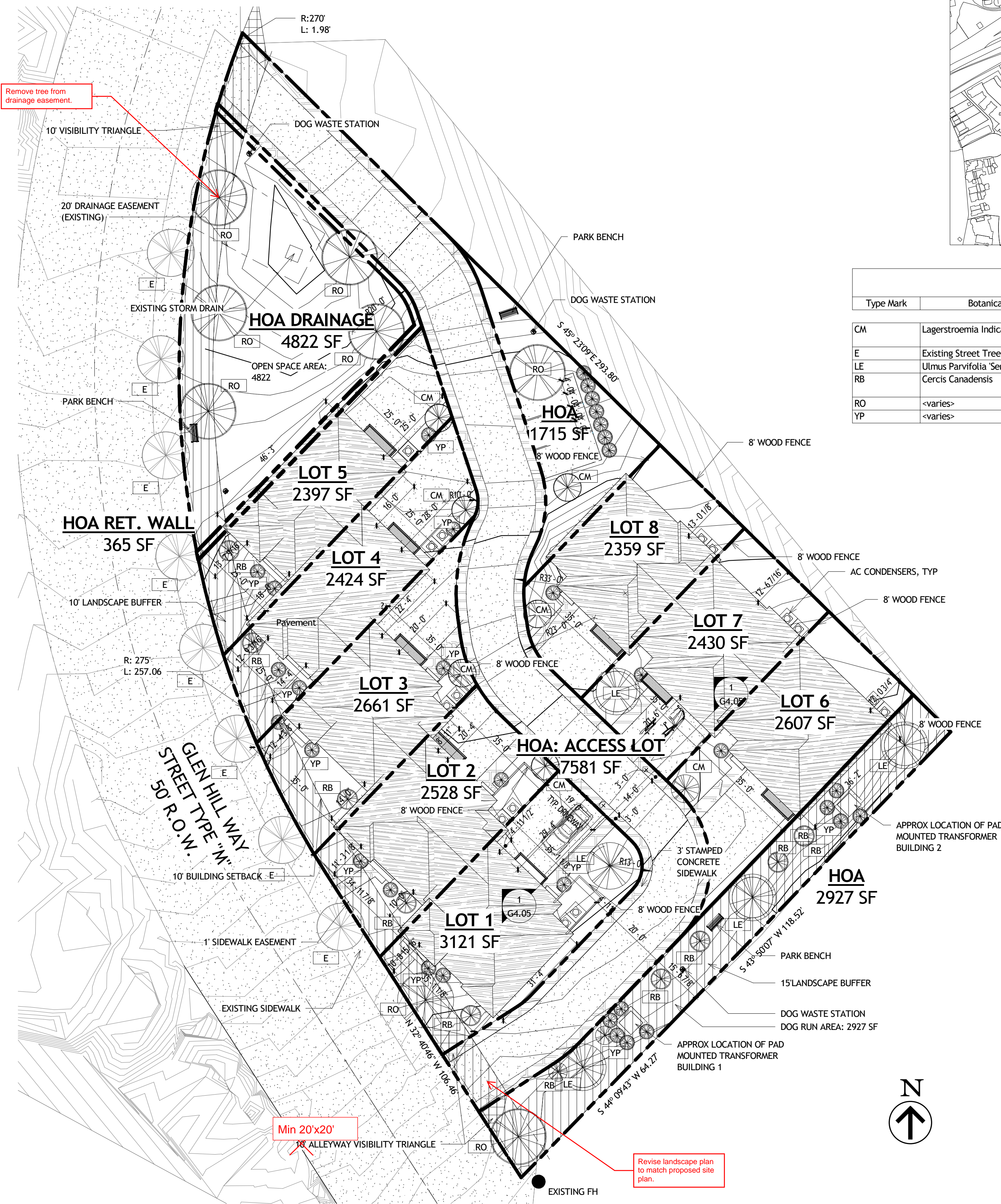


Site Plan

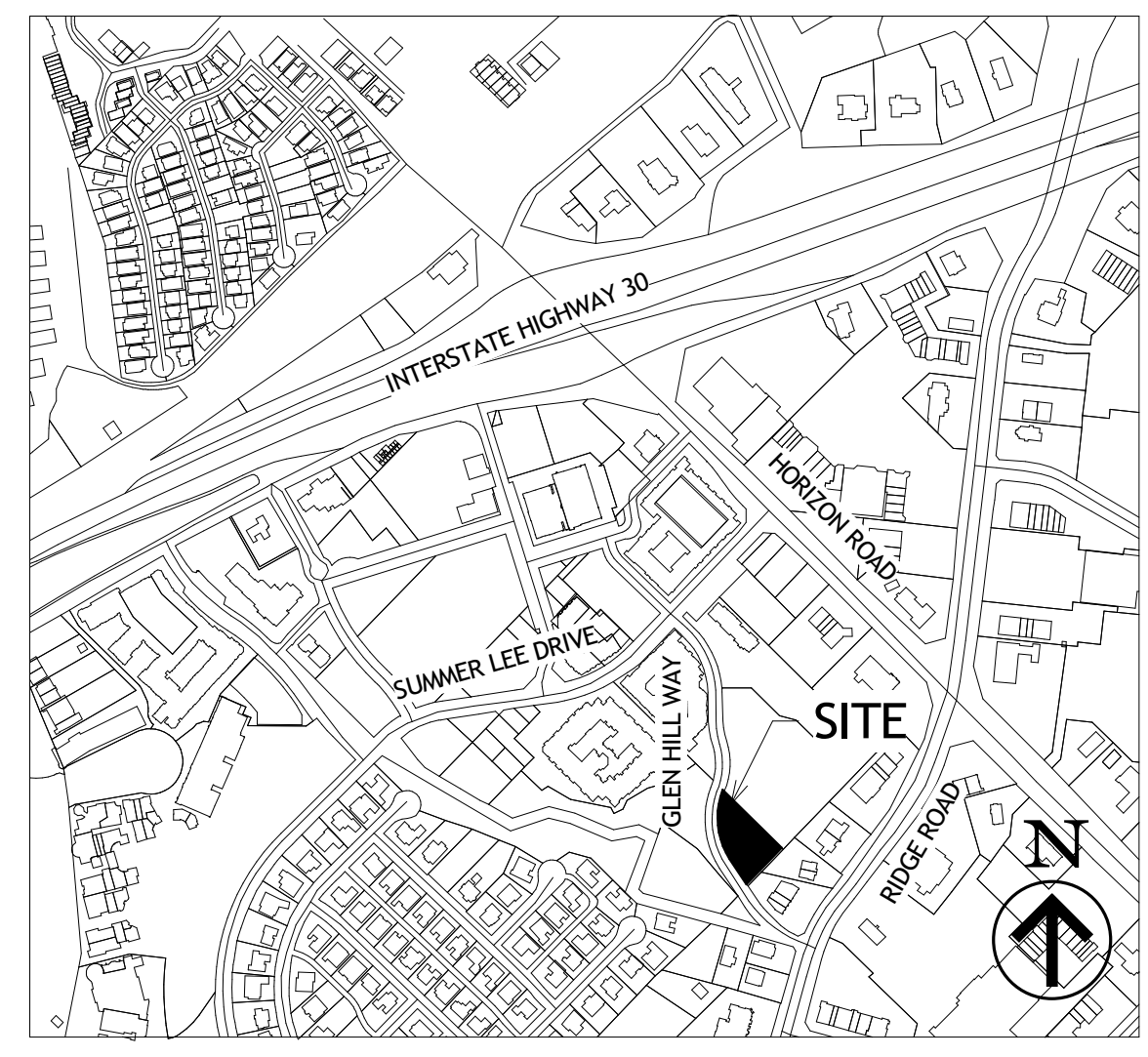
Rockwall Townhomes
Glen Hill Way
Lot 3 Block A Harbor Hills Addition
Rockwall, Texas

City of Rockwall, Texas
E. Teal Survey Abstract A207

Prepared December 12, 2024



VICINITY MAP



Planting Schedule					
Type Mark	Botanical Name	Common Name	Size	Count	Comments
CM	Lagerstroemia Indica 'Basham Pink'	Crape Myrtle	30 Gal	7	Container Grown
E	Existing Street Tree	Existing	Existing	8	Existing
LE	Ulmus Parvifolia 'Sempervirens'	Lacebark Elm	4' Cal.	5	Nursery Grown
RB	Cercis Canadensis	Texas Red Bud	30 Gal	11	Container Grown
RO	<varies>	<varies>	<varies>	8	<varies>
YP	<varies>	<varies>	<varies>	35	<varies>

LANDSCAPE PLAN NOTES

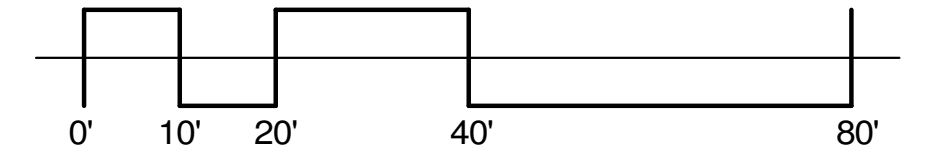
- APPROVAL OF IRRIGATION PLAN IS REQUIRED PRIOR TO THE ISSUANCE OF A BUILDING PERMIT. AN IRRIGATION PLAN MUST BE PREPARED AND SEALED BY A LICENSED IRRIGATOR IN THE STATE OF TEXAS AND WILL MEET THE REQUIREMENTS OF UDC.
- ALL LANDSCAPED AND TURF AREAS MUST BE IRRIGATED BY AN AUTOMATED IRRIGATION SYSTEM, UNLESS ALTERNATIVE WATER WISE IRRIGATION SYSTEM IS APPROVED BY THE CITY. ALL LANDSCAPE BEDS SHALL BE SEPARATED FROM TURF AREAS BY EDGING.
- THE DEVELOPER SHALL ESTABLISH GRASS AND MAINTAIN THE SEEDING AREA, INCLUDING WATERING, UNTIL A "PERMANENT STAND OF GRASS" IS OBTAINED AT WHICH TIME THE PROJECT WILL BE ACCEPTED BY THE CITY. A "STAND OF GRASS" SHALL CONSIST OF 75% TO 80% COVERAGE AND A MINIMUM OF ONE-INCH IN HEIGHT AS DETERMINED BY THE CITY.
- ALL LANDSCAPE BUFFERS AND PUBLIC RIGHT OF WAY LOCATED ADJACENT TO A PROPOSED DEVELOPMENT SHALL BE IMPROVED WITH GRASS (I.E. SOD - HYDRO MULCH SHALL BE PROHIBITED IN THESE AREAS) PRIOR TO THE ISSUANCE OF A CERTIFICATE OF OCCUPANCY.
- TREES MUST BE PLANTED AT LEAST FIVE FEET FROM WATER, SEWER, AND STORM LINES.

Site Data Summary Table

General Site Data	
Zoning	PD-32 Residential Subdistrict
Existing Use	Vacant
Proposed Land Use	Single Family Attached (Townhomes)
Lot Area Combined (SF)	37,935
Lot Area Combined (Acres)	0.87
Building Footprint Area (Approximate)	9,363
Area Covered by Canopy	0
Single Family Attached Units	8
Unit Density Per Acre	9.2
Building 1 Area	16,506
Building 2 Area	10,521
Total Building Area	27,027
Maximum Building Height (# Stories)	3
Maximum Building Height (Feet)	50' to Roof Ridge
Lot Coverage	25%
Floor Area Ratio	5/7

Parking	
Required Parking 2 Per unit	16
Parking Provided	
Uncovered Surface Spaces (Guest)	3
Garage Spaces	16
Tandem (Driveway) Spaces	16
Total Parking Provided	35
Accessible Parking Required	N/A
Accessible Parking Provided	0

Landscaping Area	
Open Space Required	
Required area per zoning	N/A
Total Open Space Provided	4,822
Other Landscape area within the lot	10,672
Total Landscape Area	15,494
Impervious Area	
Building Area	9,363
Sidewalks, Pavement, and other Impervious Flatwork	9,896
Other Impervious Area (Decorative Stamped Concrete)	3,182
Total Impervious Area	22,441
Total Landscape Area, Impervious Area, Permeable Area	37,935
Total Area for Outdoor Storage	None



1 Conceptual Landscape Plan
1" = 20'-0"

GREENLIGHT

STUDIO, LLC
www.greenlightcompany.com

Applicant:

Greenlight Studio LLC
100 N. Cottonwood Drive
Suite 104
Richardson, Texas 75080
v: 214.810.4335

Owner:

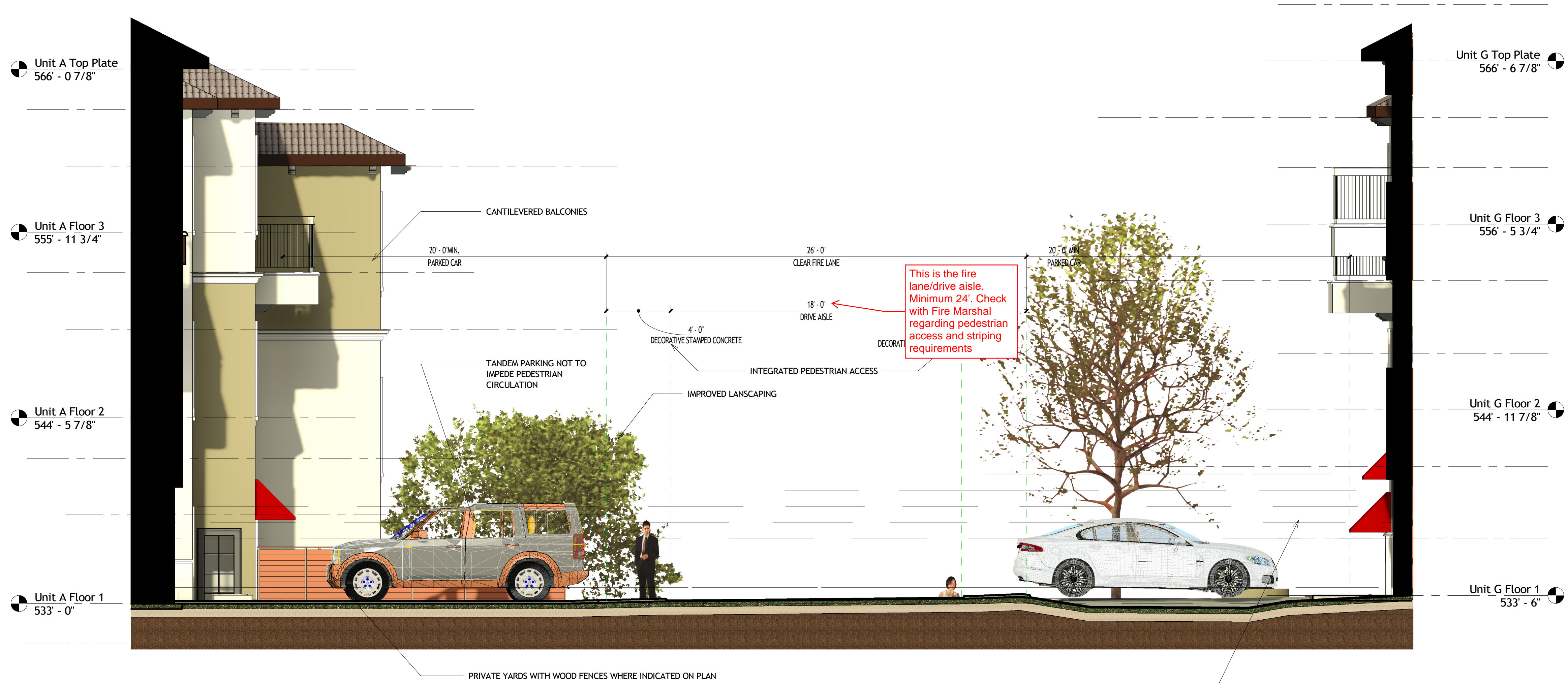
Zapo Investments, LLC
201 W. Kaufman St.
Richardson, Texas 75081
v: 972.662.1435

Concept Landscape Plan

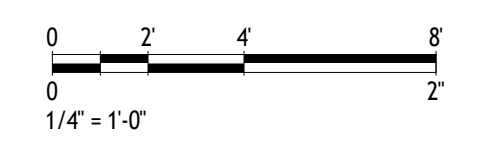
Rockwall Townhomes
Glen Hill Way
Lot 3 Block A Harbor Hills Addition
Rockwall, Texas

City of Rockwall, Texas
E. Teal Survey Abstract A207

Prepared December 12, 2024



This is the fire lane/drive aisle. Minimum 24'. Check with Fire Marshal regarding pedestrian access and striping requirements



GREENLIGHT

STUDIO, LLC
www.greenlightcompany

Applicant:
Greenlight Studio LLC
100 N. Cottonwood Drive
Suite 104
Richardson, Texas 75080
v: 214.810.4335

Owner:
Zappi Investments, LLC
201 W. Kaufman St.
Richardson, Texas 75081
v: 972.882.1435

Drive Aisle Section
Rockwall Townhomes
Glen Hill Way
Lot 3 Block A Harbor Hills Addition
Rockwall, Texas

City of Rockwall, Texas
E. Teal Survey Abstract A207
Prepared December 12, 2024

① Drive Aisle Section
1/4" = 1'-0"



DEVELOPMENT APPLICATION

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

STAFF ONLY

PLANNING & ZONING CASE NO. _____

NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING: _____

CITY ENGINEER: _____

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST [SELECT ONLY ONE BOX]:

PLATTING APPLICATION FEES:

- MASTER PLAT (\$100.00 + \$15.00 ACRE) ¹
- PRELIMINARY PLAT (\$200.00 + \$15.00 ACRE) ¹
- FINAL PLAT (\$300.00 + \$20.00 ACRE) ¹
- REPLAT (\$300.00 + \$20.00 ACRE) ¹
- AMENDING OR MINOR PLAT (\$150.00)
- PLAT REINSTATEMENT REQUEST (\$100.00)

SITE PLAN APPLICATION FEES:

- SITE PLAN (\$250.00 + \$20.00 ACRE) ¹
- AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING PLAN (\$100.00)

ZONING APPLICATION FEES:

- ZONING CHANGE (\$200.00 + \$15.00 ACRE) ¹
- SPECIFIC USE PERMIT (\$200.00 + \$15.00 ACRE) ^{1 & 2}
- PD DEVELOPMENT PLANS (\$200.00 + \$15.00 ACRE) ¹

OTHER APPLICATION FEES:

- TREE REMOVAL (\$75.00)
- VARIANCE REQUEST/SPECIAL EXCEPTIONS (\$100.00) ²

NOTES:

¹: IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE.

²: A ~~\$1,000.00~~ FEE WILL BE ADDED TO THE APPLICATION FEE FOR ANY REQUEST THAT INVOLVES CONSTRUCTION WITHOUT OR NOT IN COMPLIANCE TO AN APPROVED BUILDING PERMIT.

PROPERTY INFORMATION [PLEASE PRINT]

ADDRESS **Glen Hill Way**

SUBDIVISION **Harbor Hills Addition**

LOT **3**

BLOCK **A**

GENERAL LOCATION **Parcel on Glen Hill Way north adjacent of 2930 South Ridge Road**

ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

CURRENT ZONING **PD-32 Residential Subdistrict**

CURRENT USE **Vacant**

PROPOSED ZONING **Unchanged**

PROPOSED USE **Single Family Attached**

ACREAGE **.87**

LOTS [CURRENT] **1**

LOTS [PROPOSED] **13**

SITE PLANS AND PLATS: BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB3167 THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.

OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

OWNER **ZAPA Investmants LLC**

APPLICANT **Greenlight Studio**

CONTACT PERSON **Matt Zahm**

CONTACT PERSON **Tyler Adams**

ADDRESS **201 W Kaufman St.**

ADDRESS **100 N. Cottonwood Drive**

Suite 104

CITY, STATE & ZIP **Richardson, Texas 75081**

CITY, STATE & ZIP **Richardson, Texas 75080**

PHONE **972.682.1435**

PHONE **214.810.4535**

E-MAIL **MZahm@zconstructors.com**

E-MAIL **tyler@gldevco.com**

NOTARY VERIFICATION [REQUIRED]

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED Matt D. Zahm [OWNER] THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING:

"I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION; ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT; AND THE APPLICATION FEE OF \$ 270.00 TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS THE 13th DAY OF December 2024. BY SIGNING THIS APPLICATION, I AGREE THAT THE CITY OF ROCKWALL (I.E. "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE ANY COPYRIGHTED INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR PUBLIC INFORMATION."

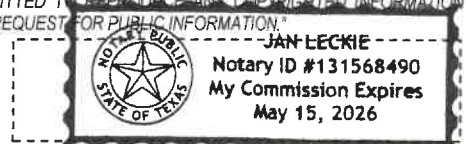
GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE 13th DAY OF December 2024.

OWNER'S SIGNATURE

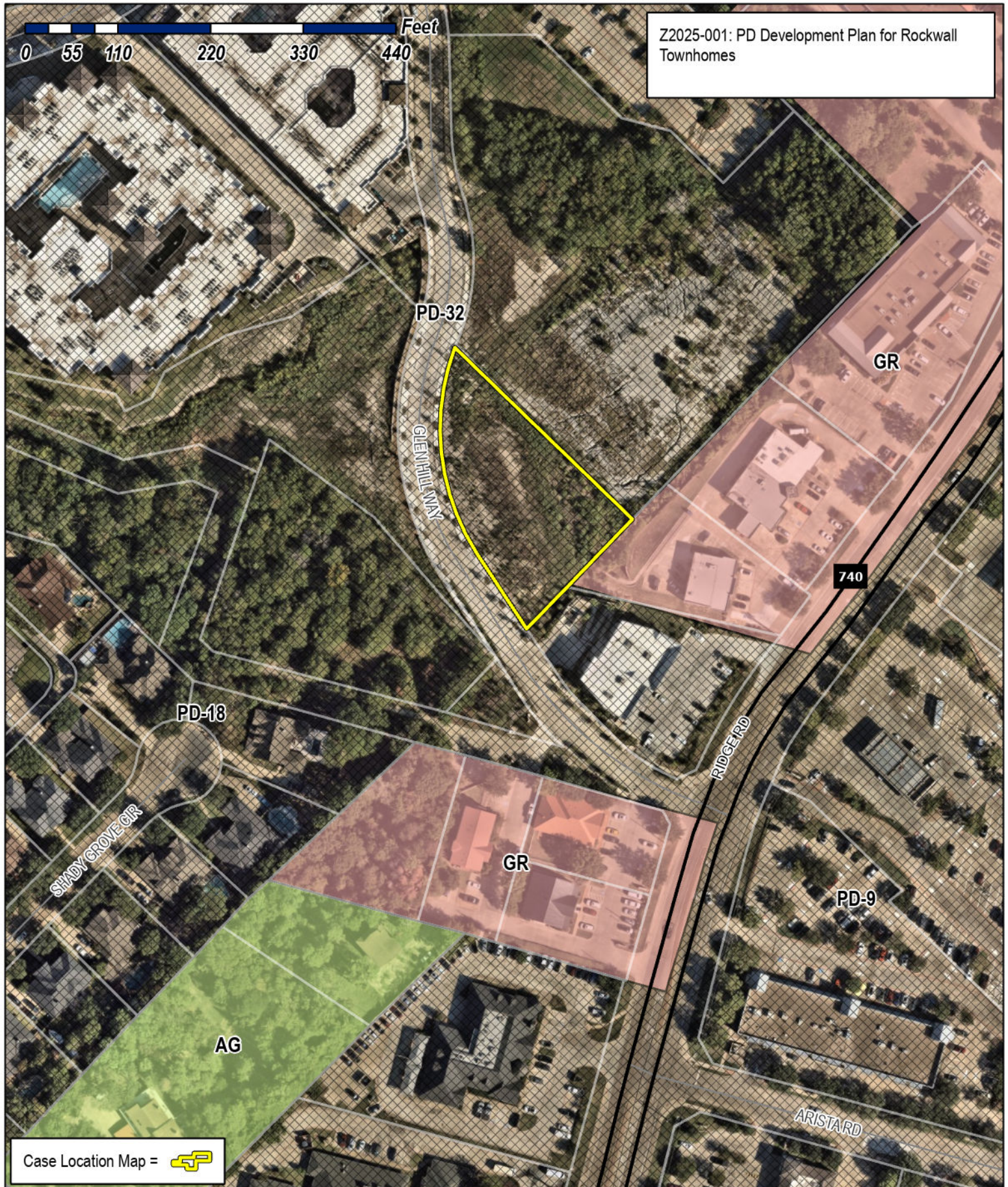
Matt D. Zahm

NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS

Jan Leckie



MY COMMISSION EXPIRES 05/15/2026



City of Rockwall

Planning & Zoning Department
 385 S. Goliad Street
 Rockwall, Texas 75087
 (P): (972) 771-7745
 (W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.

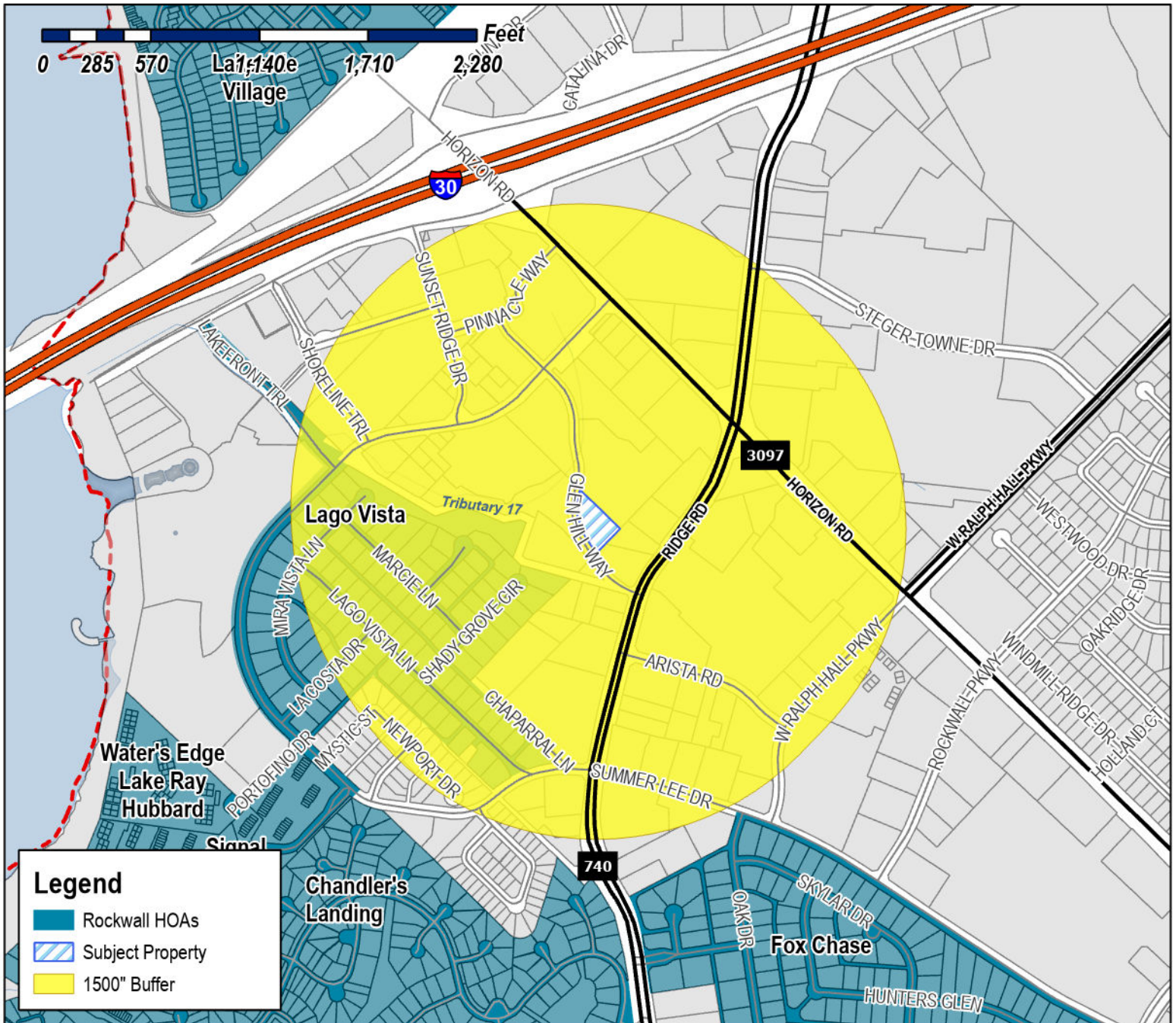




City of Rockwall

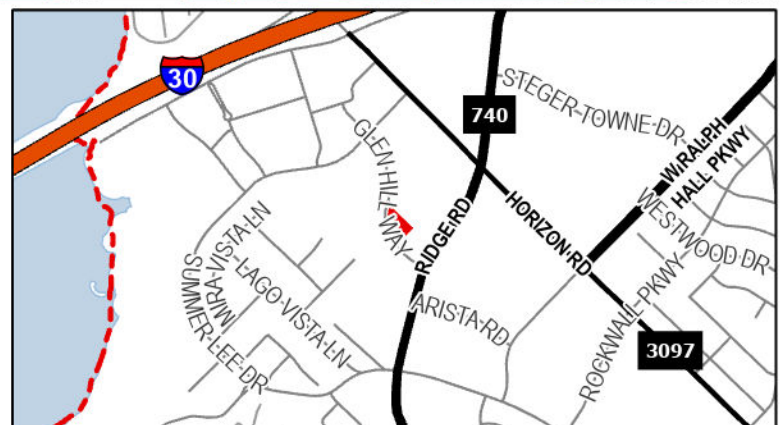
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Case Number: Z2025-001
Case Name: PD Development Plan for Rockwall Townhomes
Case Type: Zoning
Zoning: Planned Development District 32 (PD-32)
Case Address: Glen Hill Way

Date Saved: 1/16/2025
 For Questions on this Case Call (972) 771-7745



From: [Zavala, Melanie](#)
Cc: [Miller, Ryan](#); [Lee, Henry](#); [Ross, Bethany](#); [Guevara, Angelica](#)
Subject: Neighborhood Notification Program [Z2025-001]
Date: Wednesday, January 22, 2025 1:23:21 PM
Attachments: [Public Notice \(01.17.2025\).pdf](#)
[HOA Map \(01.21.2025\).pdf](#)

HOA/Neighborhood Association Representative:

Per your participation in the [Neighborhood Notification Program](#), you are receiving this notice to inform your organization that a zoning case has been filed with the City of Rockwall that is located within 1,500-feet of the boundaries of your neighborhood. As the contact listed for your organization, you are encouraged to share this information with the residents of your subdivision. Please find the attached map detailing the property requesting to be rezoned in relation to your subdivision boundaries. Additionally, below is the summary of the zoning case that will be published in the Rockwall Herald Banner on [Friday, January 24, 2025](#). The Planning and Zoning Commission will hold a public hearing on [Tuesday, February 11, 2025 at 6:00 PM](#), and the City Council will hold a public hearing on [Tuesday, February 18, 2025 at 6:00 PM](#). Both hearings will take place at 6:00 PM at City Hall, 385 S. Goliad, Rockwall, TX 75087.

All interested parties are encouraged to submit public comments via email to Planning@rockwall.com at least 30 minutes in advance of the meeting. Please include your name, address, and the case number your comments are referring to. These comments will be read into the record during each of the public hearings. Additional information on all current development cases can be found on the City's website: <https://sites.google.com/site/rockwallplanning/development/development-cases>.

Z2025-001: PD Development Plan for Eight (8) Townhomes

Hold a public hearing to discuss and consider a request by Tyler Adams of Greenlight Studio on behalf of Matt Zahm of ZAPA Investments, LLC for the approval of a [PD Development Plan](#) for eight (8) Townhomes on a 0.87-acre parcel of land identified as Lot 3, Block A, Harbor Hills Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 32 (PD-32), situated within the Interior Subdistrict and the Residential Subdistrict, generally located on the northeast side of Glen Hill Way, northwest of the intersection of Glen Hill Way and Ridge Road [FM-740], and take any action necessary.

Thank you,

Melanie Zavala

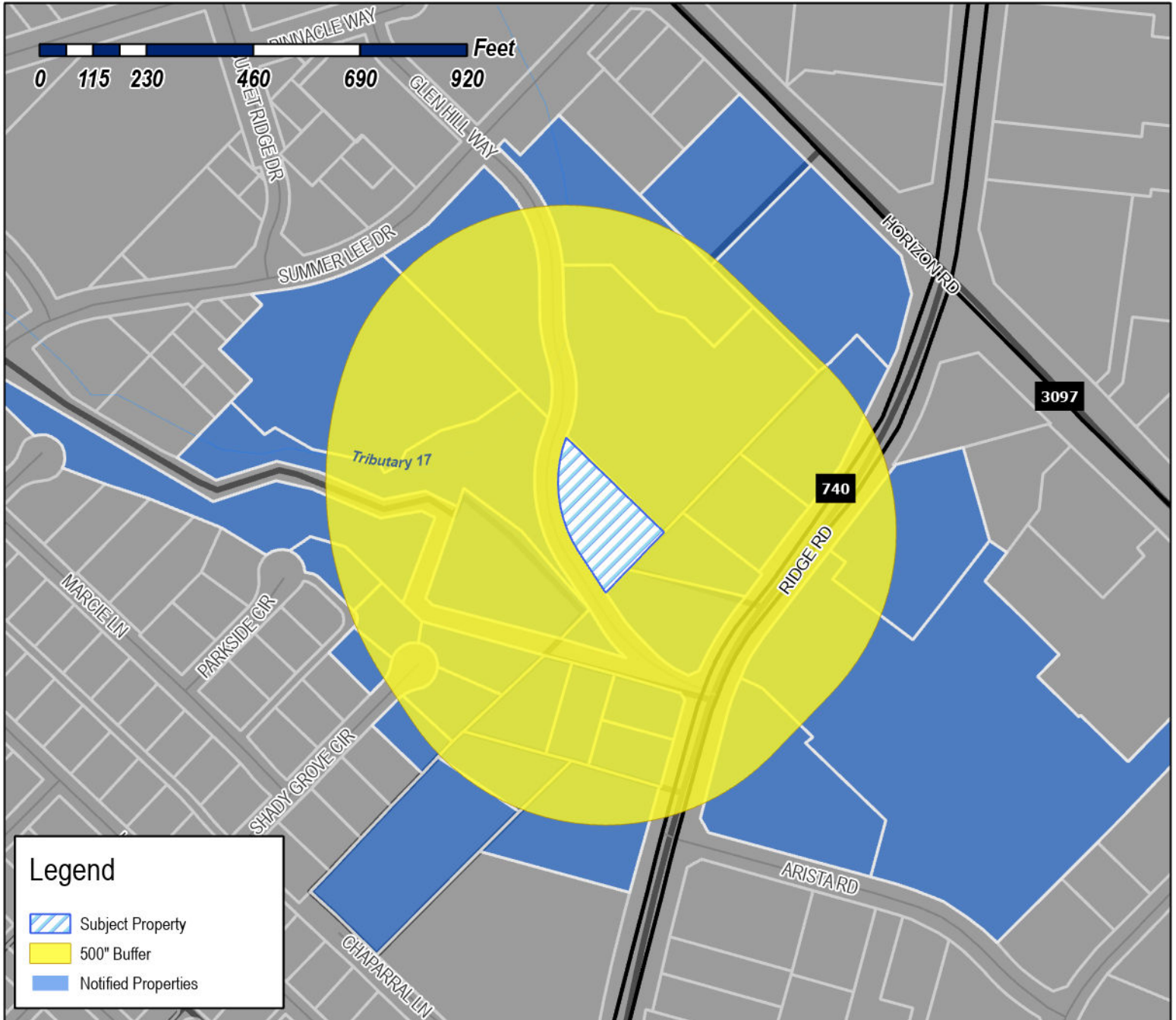
Planning & Zoning Coordinator | Planning Dept. | City of Rockwall
385 S. Goliad Street | Rockwall, TX 75087
[Planning & Zoning Rockwall](#)
972-771-7745 Ext. 6568



City of Rockwall

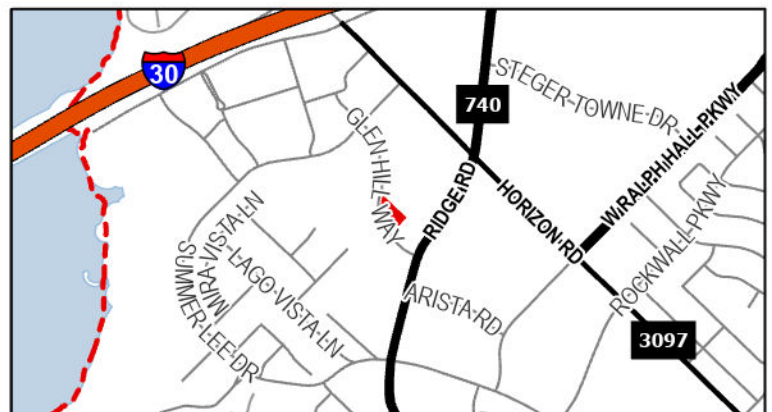
Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087
(P): (972) 771-7745
(W): www.rockwall.com

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Case Number: Z2025-001
Case Name: PD Development Plan for Rockwall Townhomes
Case Type: Zoning
Zoning: Planned Development District 32 (PD-32)
Case Address: Glen Hill Way

Date Saved: 1/16/2025
 For Questions on this Case Call: (972) 771-7745



KROGER TEXAS LP
1014 VINE STREET
CINCINNATI, OH 45202

HPA BORROWER 2016-1 LLC
120 S RIVERSIDE PLZ SUITE 2000
CHICAGO, IL 60606

SONG CORPORATION
1200 HORIZON RD
ROCKWALL, TX 75032

RESIDENT
1220 HORIZON RD
ROCKWALL, TX 75032

JAY & MALISHA LLC
1260 HERON LAKES CIR
MOBILE, AL 36693

NATIONAL TRANSFER SERVICES, LLC
1360 POST OAK BLVD STE 100 # 16-2
HOUSTON, TX 77056

RESIDENT
1489 SHADY GROVE CIR
ROCKWALL, TX 75032

THOMPSON CHARLES C & SHARON K
1496 SHADY GROVE CIR
ROCKWALL, TX 75032

DRAKE CARLA DEE & DENNIS HARTLINE
1501 SHADY GROVE CIR
ROCKWALL, TX 75032

HUBERT ROBIN AND MONICA A
1508 SHADY GROVE CIR
ROCKWALL, TX 75032

RESIDENT
1513 SHADY GROVE CIR
ROCKWALL, TX 75032

HASSANIZADEH MAHMOUD & VASHTI
1523 PARKSIDE CIR
ROCKWALL, TX 75032

ROCKWALL HARBOR HILL, LTD
15653 HIGHWAY 243
KAUFMAN, TX 75142

CROCHERON AVENUE LLC
18 BEVERLY ROAD
DOUGLSTON, NY 11363

WHITNEY SARDIS LLC
2001 MARCUS AVENUE SUITE N118
LAKE SUCCESS, NY 11042

RESIDENT
2400 SUMMER LEE DR
ROCKWALL, TX 75032

RESIDENT
2500 SUMMER LEE DR
ROCKWALL, TX 75032

RESIDENT
2500 SUMMER LEE DR
ROCKWALL, TX 75032

SELMA HOSPITALITY INC
2560 ROYAL LN STE 210
DALLAS, TX 75229

SELMA HOSPITALITY INC
2560 ROYAL LN STE 210
DALLAS, TX 75229

RESIDENT
2700 SUMMER LEE
ROCKWALL, TX 75032

HARBOR LAKE POINTE INVESTORS LLC
2701 SUNSET RIDGE DR SUITE 607
ROCKWALL, TX 75032

HARBOR LAKE POINTE INVESTORS LLC
2701 SUNSET RIDGE DR SUITE 607
ROCKWALL, TX 75032

RESIDENT
2890 RIDGE RD
ROCKWALL, TX 75032

RESIDENT
2910 RIDGE RD
ROCKWALL, TX 75032

RESIDENT
2911 RIDGE RD
ROCKWALL, TX 75032

RESIDENT
2918 RIDGE RD
ROCKWALL, TX 75032

RESIDENT
2930 RIDGE RD
ROCKWALL, TX 75032

RESIDENT
2935 RIDGE RD
ROCKWALL, TX 75032

RESIDENT
2951 RIDGE RD
ROCKWALL, TX 75032

SEALOCK MICHAEL C & SONIA KAY
3010 RIDGE RD
ROCKWALL, TX 75032

JBE RIDGE LLC
3012 RIDGE RD STE 204
ROCKWALL, TX 75032

JBE RIDGE LLC
3012 RIDGE RD STE 204
ROCKWALL, TX 75032

RESIDENT
3014 RIDGE RD
ROCKWALL, TX 75032

RESIDENT
3016 RIDGE RD
ROCKWALL, TX 75032

RESIDENT
3018 RIDGE RD
ROCKWALL, TX 75032

HAYWOOD CHARLES E AND LISA K
36 IONA DRIVE RD3 TAURANGA
NEW ZEALAND 3173,

KRUGER KARIN
400 CHAPARRAL LN
ROCKWALL, TX 75032

C. REAL ESTATE, LLC
5 TERRABELLA LANE
HEATH, TX 75032

AJ SQUARED LLC
5 TERRABELLA LN
HEATH, TX 75032

ATTICUS SUMMER LEE TOWNHOMES LLC
5339 ALPHA ROAD SUITE 300
DALLAS, TX 75240

KROGER TEXAS LP
751 FREEPORT PKWY
COPPELL, TX 75019

HP ROCKWALL 740 LTD
C/O GARY P HAMMER
7557 RAMBLER ROAD, SUITE 980
DALLAS, TX 75231

TX FLORENCE APARTMENTS LLC
9757 NE JUANITA DRIVE SUITE 300
KIRKLAND, WA 98034

GLEN HILLS CEMETERY
C/O INEZ GIBSON 512 COOL MEADOW COURT
DESOTO, TX 75115

2930 S RIDGE ROAD ROCKWALL, LLC
PO BOX 741209
HOUSTON, TX 77274

2930 S RIDGE ROAD ROCKWALL, LLC
PO BOX 741209
HOUSTON, TX 77274

PUBLIC NOTICE



CITY OF ROCKWALL
PLANNING AND ZONING DEPARTMENT
PHONE: (972) 771-7745
EMAIL: PLANNING@ROCKWALL.COM

Property Owner and/or Resident of the City of Rockwall:

You are hereby notified that the City of Rockwall Planning and Zoning Commission and City Council will consider the following application:

Z2025-001: PD Development Plan for Eight (8) Townhomes

Hold a public hearing to discuss and consider a request by Tyler Adams of Greenlight Studio on behalf of Matt Zahm of ZAPA Investments, LLC for the approval of a PD Development Plan for eight (8) *Townhomes* on a 0.87-acre parcel of land identified as Lot 3, Block A, Harbor Hills Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 32 (PD-32), situated within the *Interior Subdistrict* and the *Residential Subdistrict*, generally located on the northeast side of Glen Hill Way, northwest of the intersection of Glen Hill Way and Ridge Road [FM-740], and take any action necessary.

For the purpose of considering the effects of such a request, the Planning and Zoning Commission will hold a public hearing on Tuesday, February 11, 2025 at 6:00 PM, and the City Council will hold a public hearing on Tuesday, February 18, 2025 at 6:00 PM. These hearings will be held in the City Council Chambers at City Hall, 385 S. Goliad Street.

As an interested property owner, you are invited to attend these meetings. If you prefer to express your thoughts in writing please return the form to:

Henry Lee
Rockwall Planning and Zoning Dept.
385 S. Goliad Street
Rockwall, TX 75087

You may also email your comments to the Planning Department at planning@rockwall.com. If you choose to email the Planning Department please include your name and address for identification purposes.

Your comments must be received by Tuesday, February 18, 2025 at 4:00 PM to ensure they are included in the information provided to the City Council.

Sincerely,

Ryan Miller, AICP
Director of Planning & Zoning



MORE INFORMATION ON THIS CASE CAN BE FOUND AT: <https://sites.google.com/site/rockwallplanning/development/development-cases>

PLEASE RETURN THE BELOW FORM

Case No. Z2025-001: PD Development Plan for Eight (8) Townhomes

Please place a check mark on the appropriate line below:

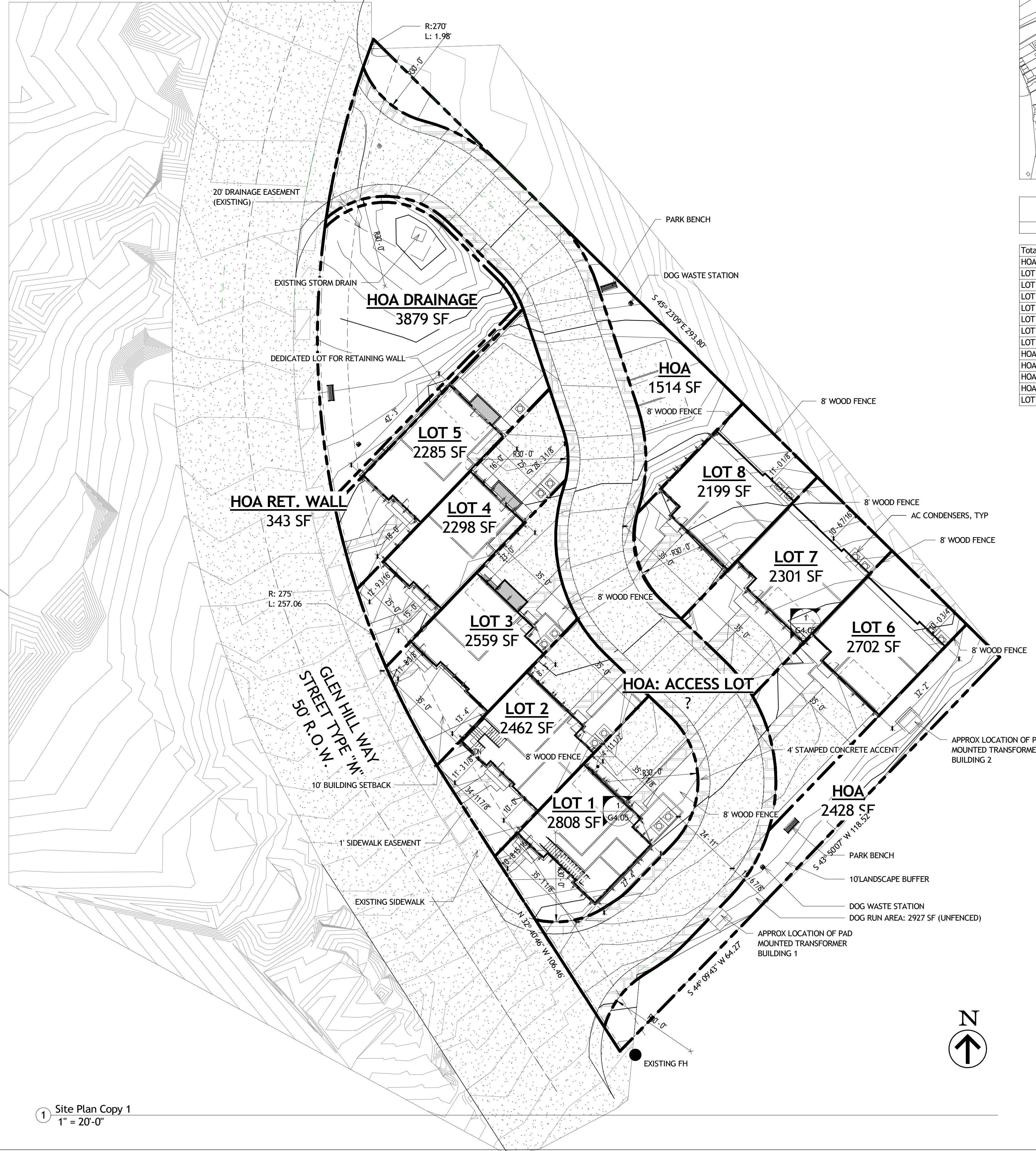
- I am in favor of the request for the reasons listed below.
- I am opposed to the request for the reasons listed below.

Name:

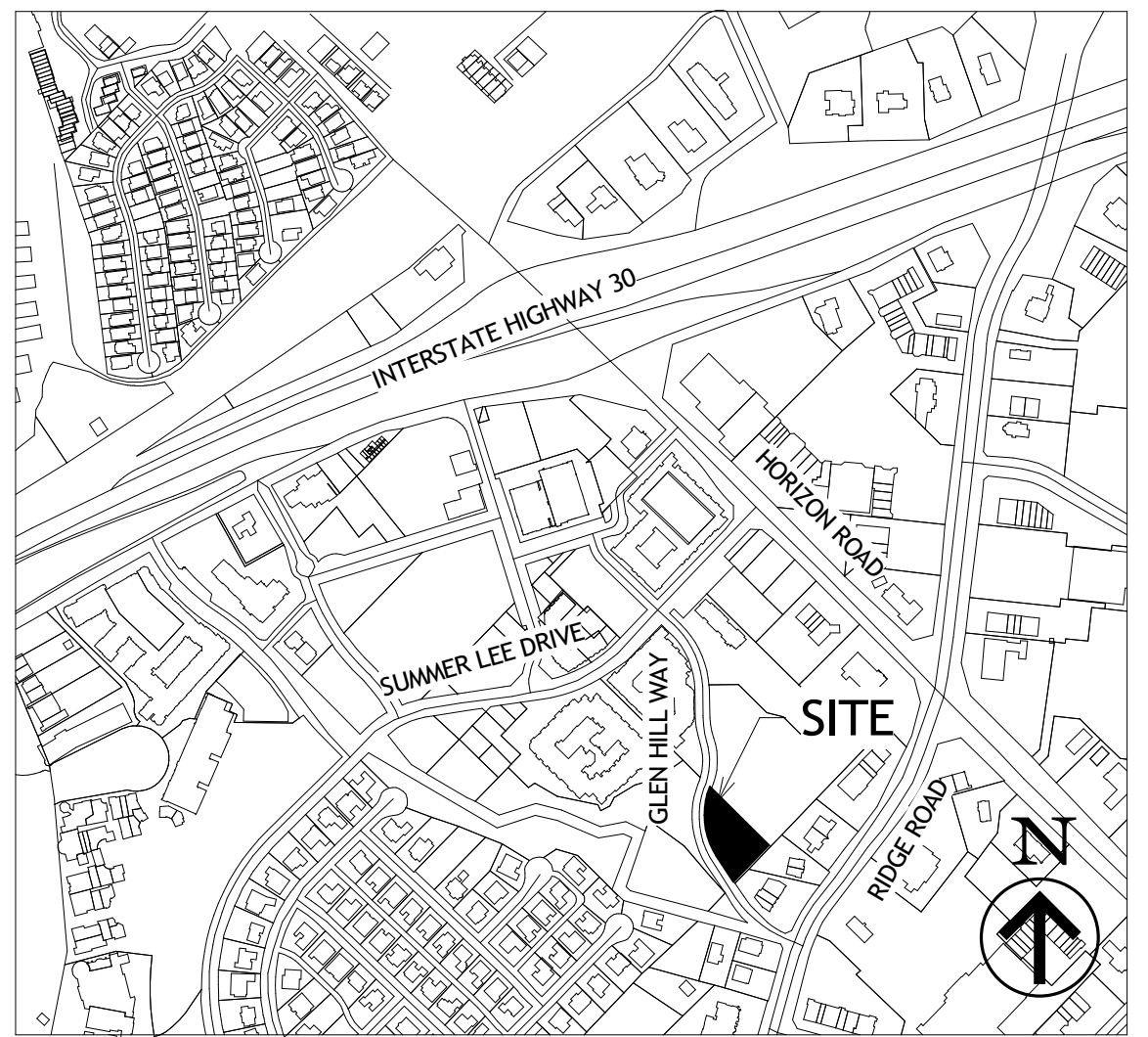
Address:

Tex. Loc. Gov. Code, Sec. 211.006 (d) If a proposed change to a regulation or boundary is protested in accordance with this subsection, the proposed change must receive, in order to take effect, the affirmative vote of at least three-fourths of all members of the governing body. The protest must be written and signed by the owners of at least 20 percent of either: (1) the area of the lots or land covered by the proposed change; or (2) the area of the lots or land immediately adjoining the area covered by the proposed change and extending 200 feet from that area.

PLEASE SEE LOCATION MAP OF SUBJECT PROPERTY ON THE BACK OF THIS NOTICE



VICINITY MAP



Property Schedule	
Name	Area
Total	37936 SF
HOA: ACCESS LOT	
LOT 5	2285 SF
LOT 4	2298 SF
LOT 3	2559 SF
LOT 2	2462 SF
LOT 6	2702 SF
LOT 7	2301 SF
LOT 8	2199 SF
HOA RET. WALL	343 SF
HOA DRAINAGE	3879 SF
HOA	2428 SF
HOA	1514 SF
LOT 1	2808 SF

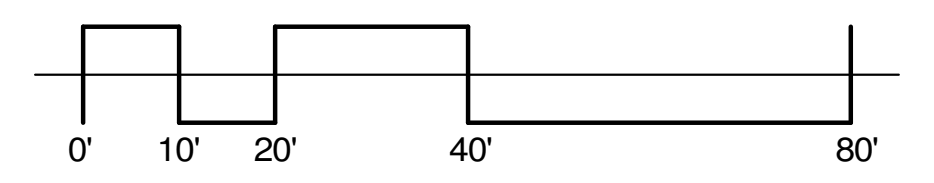
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Tandem (Driveway) Spaces	16
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Landscaping Area

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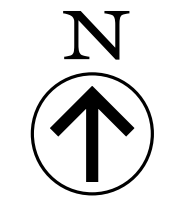
1 Site Plan Copy 1
1" = 20'-0"

GREENLIGHT

STUDIO, LLC
www.greenlightcompany

Applicant:
Greenlight Studio LLC
100 N. Cottonwood Drive
Suite 104
Richardson, Texas 75080
v: 214.610.4035

Owner:
Zappo Investments, LLC
201 W. Kaufman St.
Richardson, Texas 75081
v: 972.662.1435



Site Plan

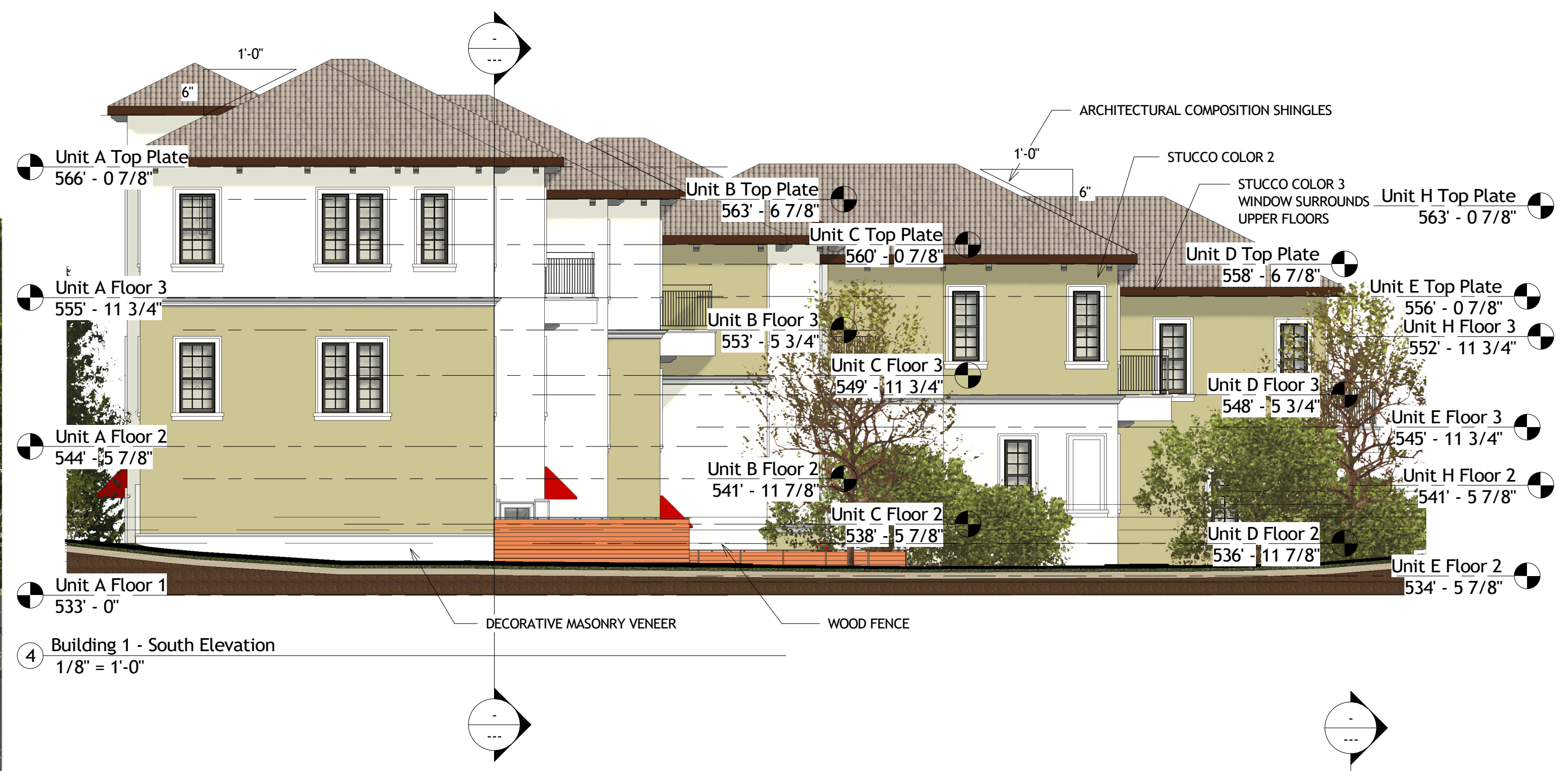
Rockwall Townhomes
Glen Hill Way
Lot 3 Block A Harbor Hills Addition
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City of Rockwall, Texas
E. Teal Survey Abstract A207

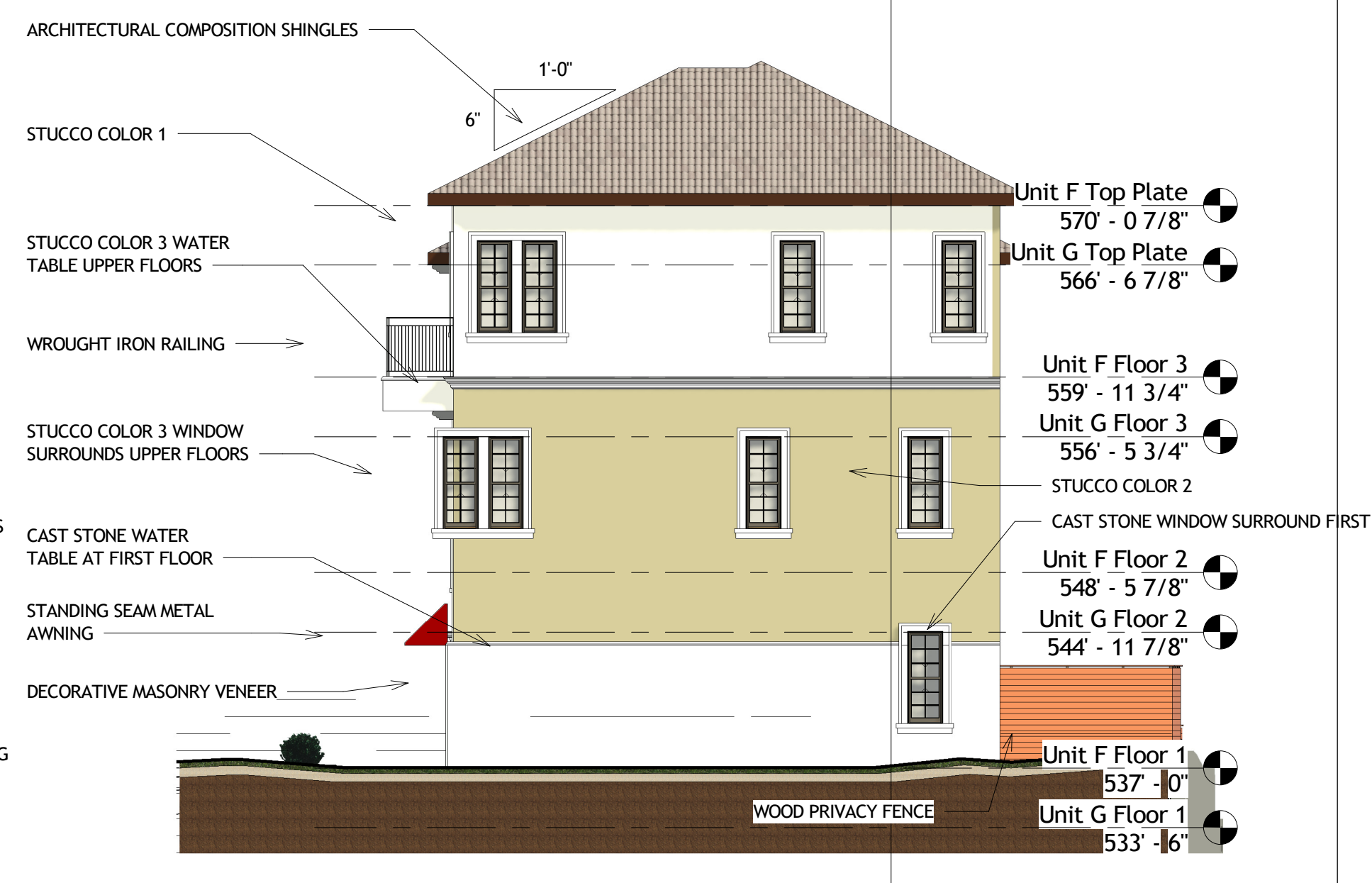
Prepared December 12, 2024



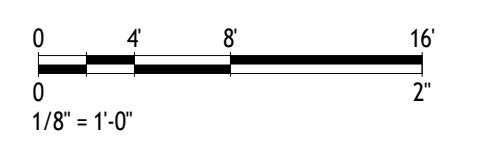
5 Building 1 North Elevation
1/8" = 1'-0"



4 Building 1 - South Elevation
1/8" = 1'-0"



3 Building 2 South Elevation
1/8" = 1'-0"



GREENLIGHT

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www.greenlightcompany.com

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Greenlight Studio LLC
100 N. Cottonwood Drive
Suite 104
Richardson, Texas 75080
v: 214.810.4333

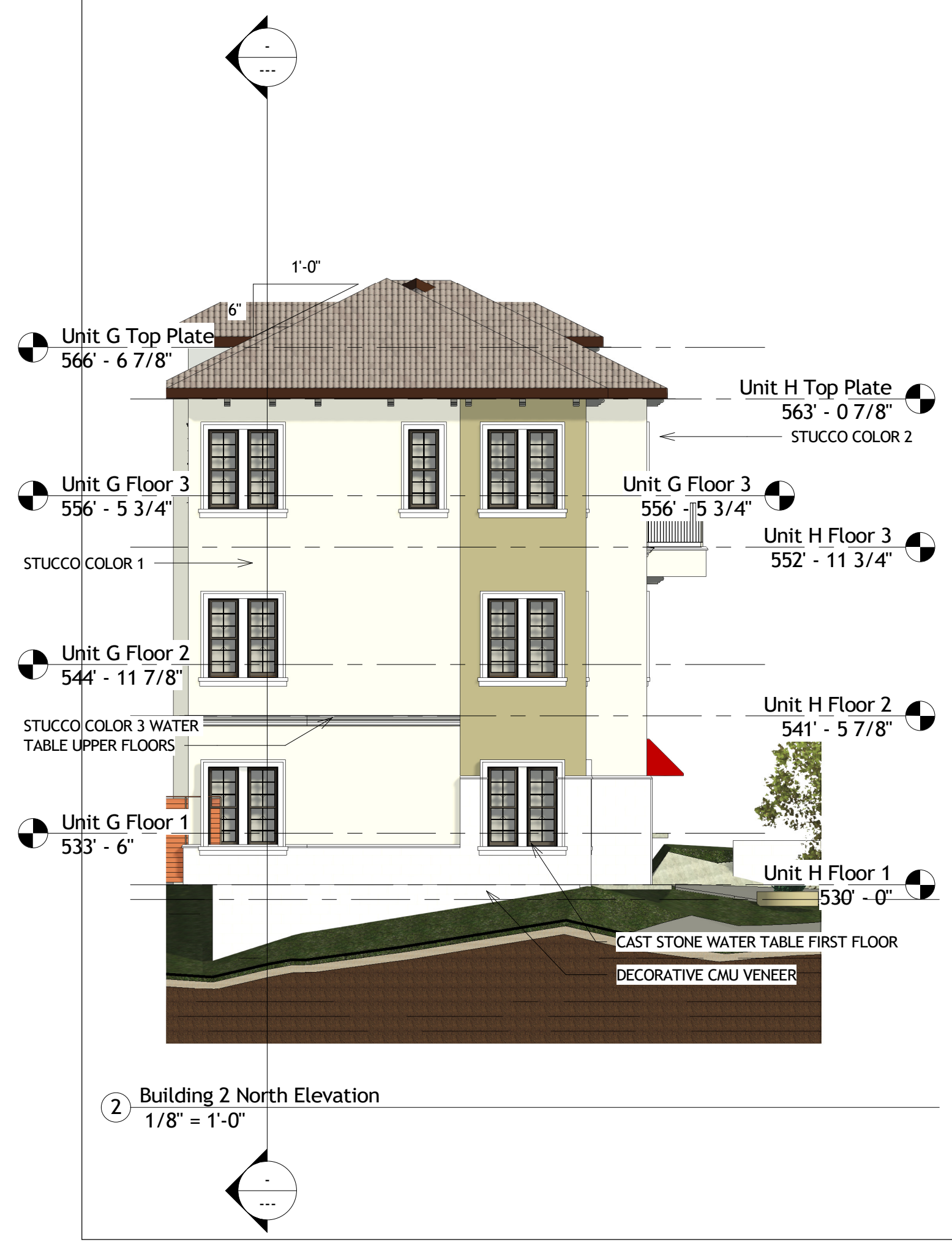
Owner:
Zappo Investments, LLC
201 W. Kaufman St.
Richardson, Texas 75081
v: 972.862.1435

Color Elevations

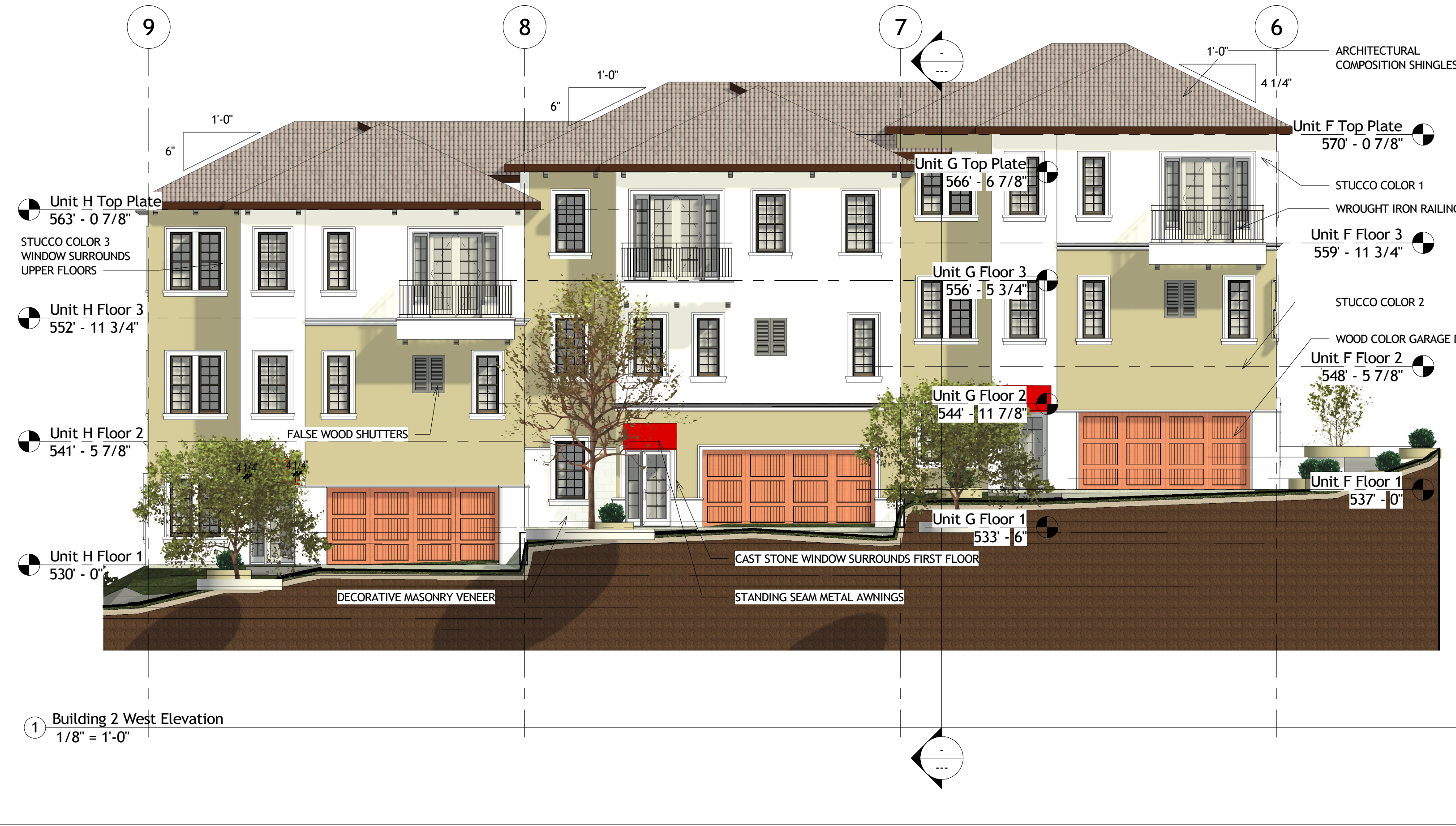
Rockwall Townhomes
Glen Hill Way
Lot 3 Block A Harbor Hills Addition
Rockwall, Texas

City of Rockwall, Texas
E. Teal Survey Abstract A207

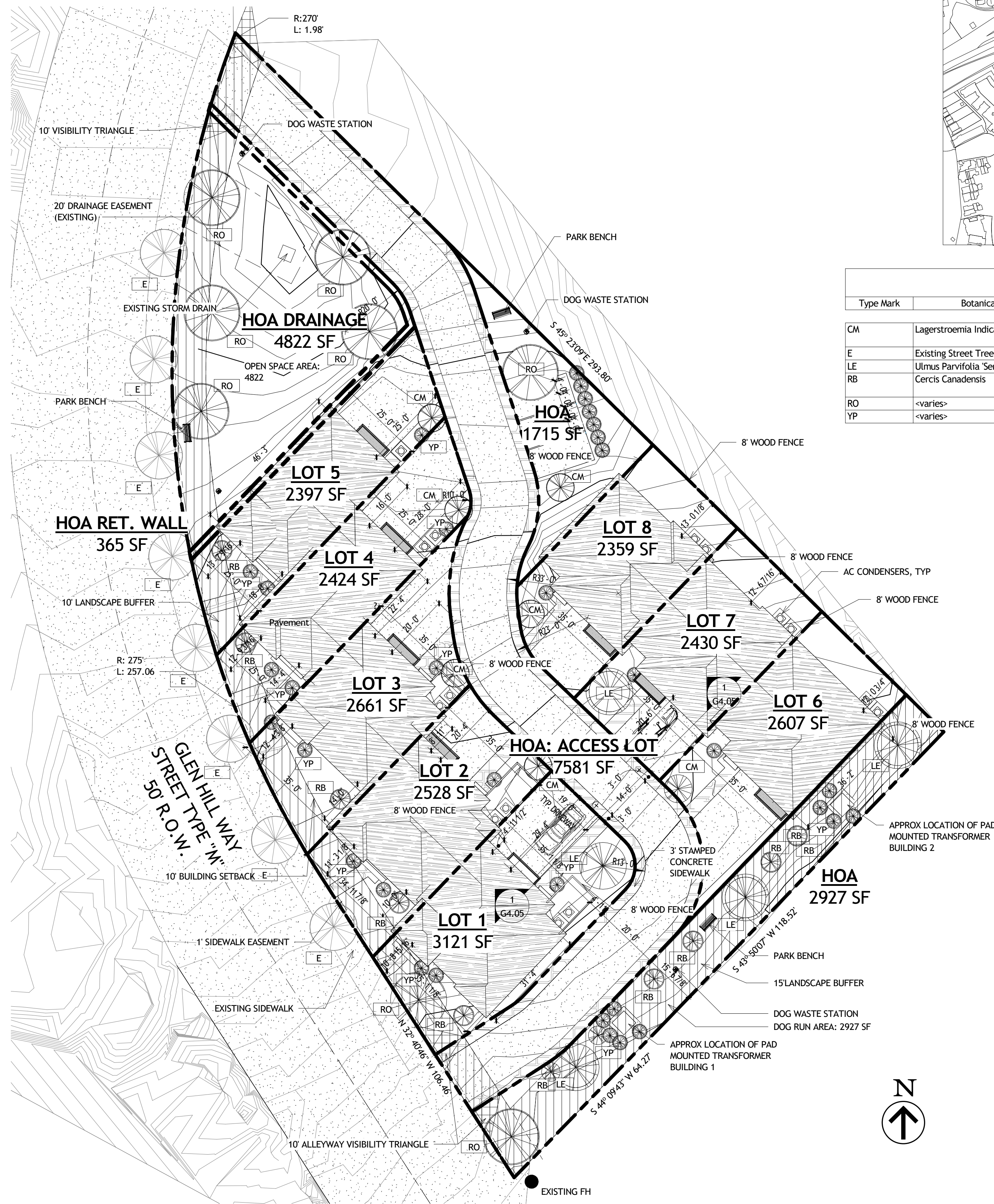
Prepared December 12, 2024



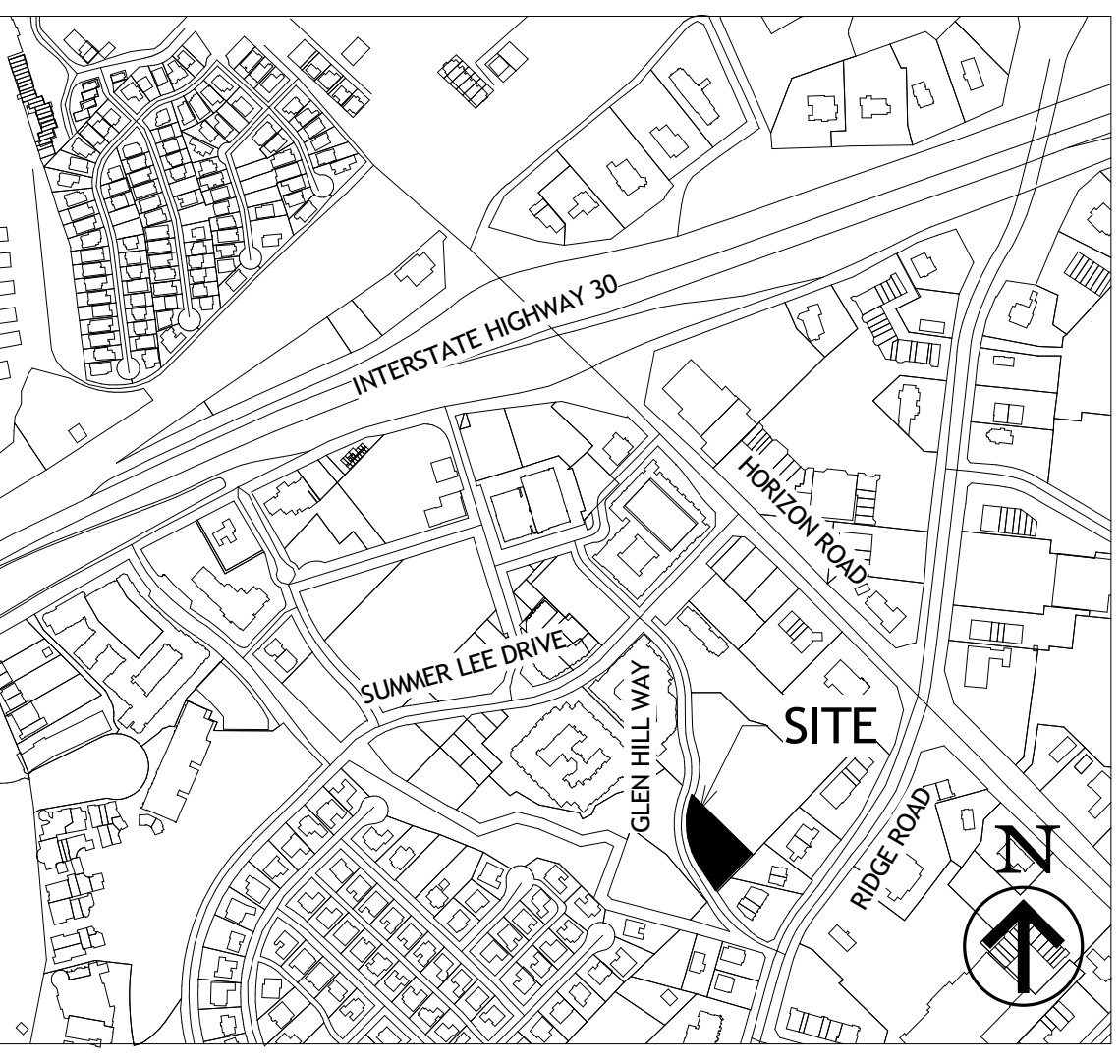
2 Building 2 North Elevation
1/8" = 1'-0"



1 Building 2 West Elevation
1/8" = 1'-0"



VICINITY MAP



Planting Schedule					
Type Mark	Botanical Name	Common Name	Size	Count	Comments
CM	Lagerstroemia Indica 'Basham Pink'	Crape Myrtle	30 Gal	7	Container Grown
E	Existing Street Tree	Existing	Existing	8	Existing
LE	Ulmus Parvifolia 'Sempervirens'	Lacebark Elm	4' Cal.	5	Nursery Grown
RB	Cercis Canadensis	Texas Red Bud	30 Gal	11	Container Grown
RO	<varies>	<varies>	<varies>	8	<varies>
YP	<varies>	<varies>	<varies>	35	<varies>

LANDSCAPE PLAN NOTES

- APPROVAL OF IRRIGATION PLAN IS REQUIRED PRIOR TO THE ISSUANCE OF A BUILDING PERMIT. AN IRRIGATION PLAN MUST BE PREPARED AND SEALED BY A LICENSED IRRIGATOR IN THE STATE OF TEXAS AND WILL MEET THE REQUIREMENTS OF UDC.
- ALL LANDSCAPED AND TURF AREAS MUST BE IRRIGATED BY AN AUTOMATED IRRIGATION SYSTEM, UNLESS ALTERNATIVE WATER WISE IRRIGATION SYSTEM IS APPROVED BY THE CITY. ALL LANDSCAPE BEDS SHALL BE SEPARATED FROM TURF AREAS BY EDGING.
- THE DEVELOPER SHALL ESTABLISH GRASS AND MAINTAIN THE SEEDING AREA, INCLUDING WATERING, UNTIL A "PERMANENT STAND OF GRASS" IS OBTAINED AT WHICH TIME THE PROJECT WILL BE ACCEPTED BY THE CITY. A "STAND OF GRASS" SHALL CONSIST OF 75% TO 80% COVERAGE AND A MINIMUM OF ONE-INCH IN HEIGHT AS DETERMINED BY THE CITY.
- ALL LANDSCAPE BUFFERS AND PUBLIC RIGHT OF WAY LOCATED ADJACENT TO A PROPOSED DEVELOPMENT SHALL BE IMPROVED WITH GRASS (I.E. SOD - HYDRO MULCH SHALL BE PROHIBITED IN THESE AREAS) PRIOR TO THE ISSUANCE OF A CERTIFICATE OF OCCUPANCY.
- TREES MUST BE PLANTED AT LEAST FIVE FEET FROM WATER, SEWER, AND STORM LINES.

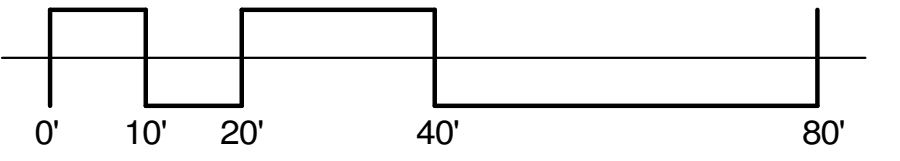
Site Data Summary Table

General Site Data	
Zoning	PD-32 Residential Subdistrict
Existing Use	Vacant
Proposed Land Use	Single Family Attached (Townhomes)
Lot Area Combined (SF)	37,935
Lot Area Combined (Acreage)	0.87
Building Footprint Area (Approximate)	9,363
Area Covered by Canopy	0
Single Family Attached Units	8
Unit Density Per Acre	9.2
Building 1 Area	16,506
Building 2 Area	10,521
Total Building Area	27,027
Maximum Building Height (# Stories)	3
Maximum Building Height (Feet)	50' to Roof Ridge
Lot Coverage	25%
Floor Area Ratio	5/7

Parking	
Required Parking 2 Per unit	16
Parking Provided	
Uncovered Surface Spaces (Guest)	3
Garage Spaces	16
Tandem (Driveway) Spaces	16
Total Parking Provided	35
Accessible Parking Required	N/A
Accessible Parking Provided	0

Landscaping Area

Open Space Required	
Required area per zoning	N/A
Total Open Space Provided	4,822
Other Landscape area within the lot	10,672
Total Landscape Area	15,494
Impervious Area	
Building Area	9,363
Sidewalks, Pavement, and other Impervious Flatwork	9,896
Other Impervious Area (Decorative Stamped Concrete)	3,182
Total Impervious Area	22,441
Total Landscape Area, Impervious Area, Permeable Area	37,935
Total Area for Outdoor Storage	None



1 Conceptual Landscape Plan
1" = 20'-0"

GREENLIGHT

STUDIO, LLC
www.greenlightcompany.com

Applicant:

Greenlight Studio LLC
100 N. Cottonwood Drive
Suite 104
Richardson, Texas 75080
v: 214.810.4335

Owner:

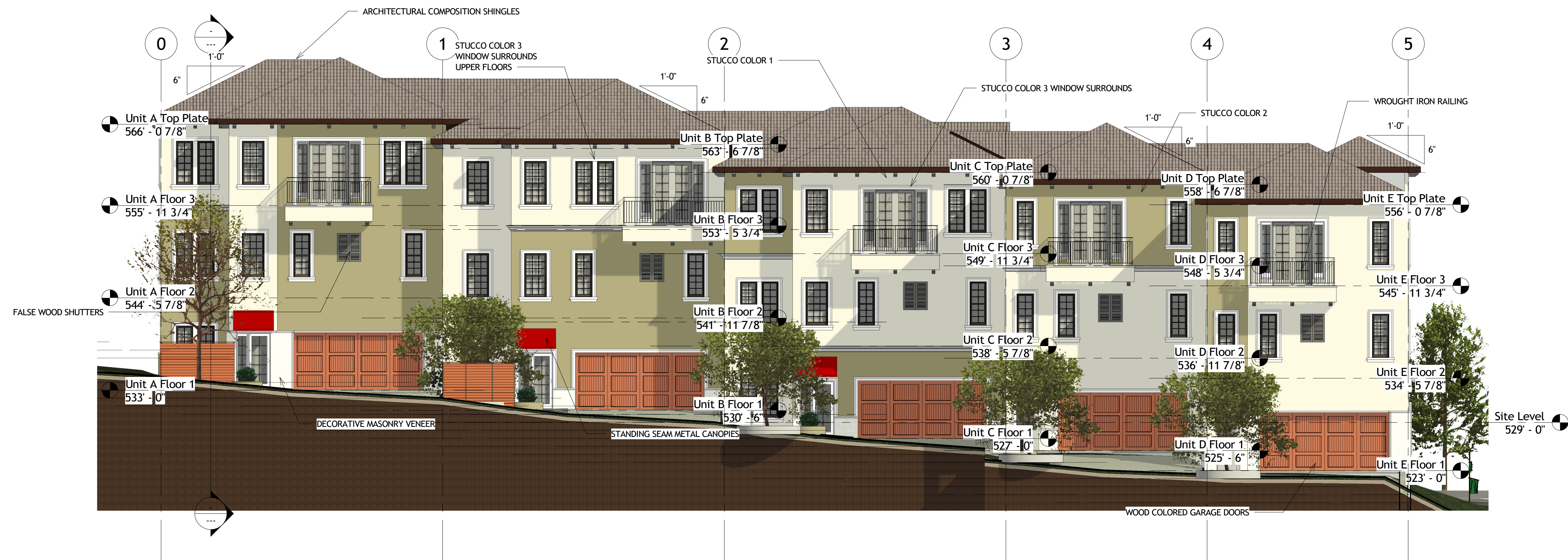
Zapo Investments, LLC
201 W. Kaufman St.
Richardson, Texas 75081
v: 972.662.1435

Concept Landscape Plan

Rockwall Townhomes
Glen Hill Way
Lot 3 Block A Harbor Hills Addition
Rockwall, Texas

City of Rockwall, Texas
E. Teal Survey Abstract A207

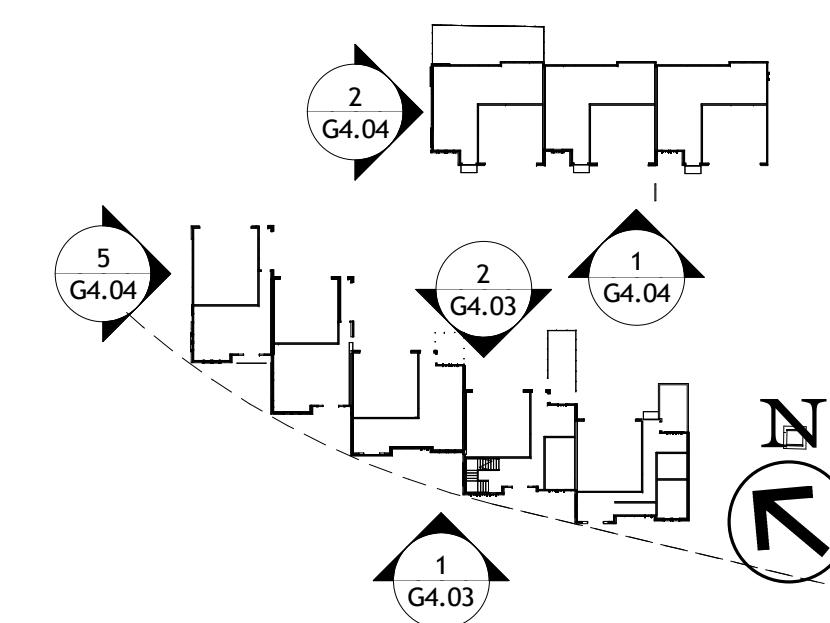
Prepared December 12, 2024



2 Building 1 East Elevation
1/8" = 1'-0"



1 Building 1 West Elevation
1/8" = 1'-0"



GREENLIGHT

STUDIO, LLC
www.greenlightcompany

Applicant:

Greenlight Studio LLC
100 N. Cottonwood Drive
Suite 104
Richardson, Texas 75080
v: 214.810.4333

Owner:

Zappo Investments, LLC
201 W. Kaufman St.
Richardson, Texas 75081
v: 972.882.1435

Color Elevations

Rockwall Townhomes
Glen Hill Way
Lot 3 Block A Harbor Hills Addition
Rockwall, Texas

City of Rockwall, Texas
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Prepared December 12, 2024



OVERALL VIEW



VIEW ALONG GLEN HILL WAY



INTERIOR ACCESS DRIVE

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100 N. Cottonwood Drive
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201 W. Kaufman St.
Richardson, Texas 75081
v: 972.862.1435

Color Renderings

Rockwall Townhomes
Glen Hill Way
Lot 3 Block A Harbor Hills Addition
Rockwall, Texas

City of Rockwall, Texas
E. Teal Survey Abstract A207

Prepared December 12, 2024



VIEW FROM GLEN HILL WAY



INTERIOR ACCESS DRIVE

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Greenlight Studio LLC
100 N. Cottonwood Drive
Suite 104
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v: 214.810.4335

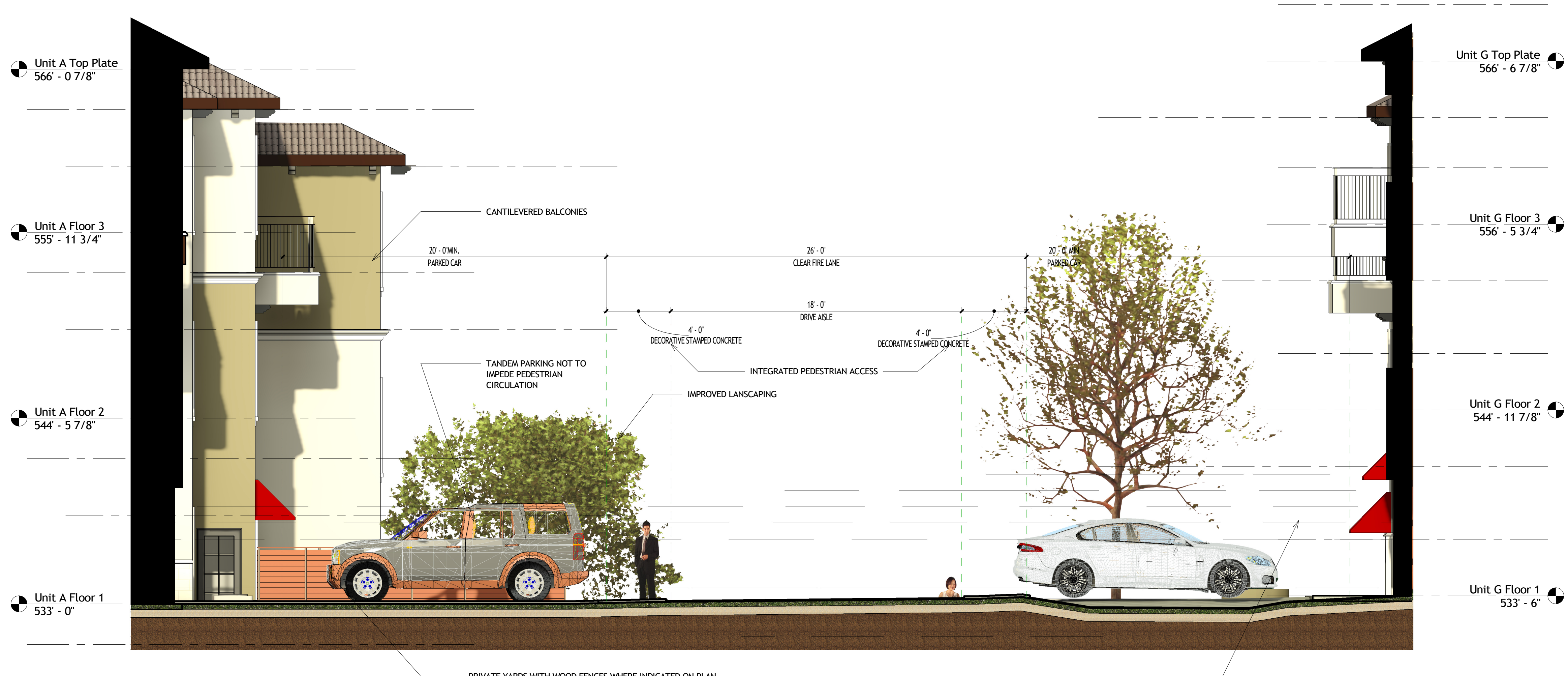
Owner:
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201 W. Kaufman St.
Richardson, Texas 75081
v: 972.662.1435

Color Renderings

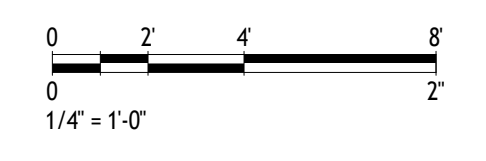
Rockwall Townhomes
Glen Hill Way
Lot 3 Block A Harbor Hills Addition
Rockwall, Texas

City of Rockwall, Texas
E. Teal Survey Abstract A207

Prepared December 12, 2024



① Drive Aisle Section
1/4" = 1'-0"



GREENLIGHT

STUDIO, LLC
www.greenlightcompany

Applicant:
Greenlight Studio LLC
100 N. Cottonwood Drive
Suite 104
Richardson, Texas 75080
v: 214.810.4335

Owner:
Zapal Investments, LLC
201 W. Kaufman St.
Richardson, Texas 75081
v: 972.882.1435

Drive Aisle Section

Rockwall Townhomes
Glen Hill Way
Lot 3 Block A Harbor Hills Addition
Rockwall, Texas

City of Rockwall, Texas
E. Teal Survey Abstract A207

Prepared December 12, 2024

CITY OF ROCKWALL

ORDINANCE NO. 25-XX

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, AMENDING PLANNED DEVELOPMENT DISTRICT 32 (PD-32) [ORDINANCE NO. 17-22] AND THE UNIFIED DEVELOPMENT CODE [ORDINANCE NO. 20-02] OF THE CITY OF ROCKWALL, AS HERETOFORE AMENDED, SO AS TO APPROVE A PD DEVELOPMENT PLAN FOR EIGHT (8) TOWNHOMES ON A 0.871-ACRE PARCEL OF LAND IDENTIFIED AS LOT 3, BLOCK A, HARBOR HILLS ADDITION, CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS AND MORE FULLY DESCRIBED AND DEPICTED HEREIN BY EXHIBIT 'A'; PROVIDING FOR SPECIAL CONDITIONS; PROVIDING FOR A PENALTY OF FINE NOT TO EXCEED THE SUM OF TWO THOUSAND DOLLARS (\$2,000.00) FOR EACH OFFENSE; PROVIDING FOR A SEVERABILITY CLAUSE; PROVIDING FOR A REPEALER CLAUSE; PROVIDING FOR AN EFFECTIVE DATE.

WHEREAS, the City has received a request from Tyler Adams of Greenlight Studio on behalf of Matt Zahm of ZAPA Investments, LLC for the approval of a *PD Development Plan* for eight (8) townhomes to be situated within the *Residential Subdistrict*, on a 0.871-acre parcel of land identified as Lot 3, Block A, Harbor Hills Addition, City of Rockwall, Rockwall County, Texas and more fully described and depicted in *Exhibit 'A'* of this ordinance, which hereinafter shall be referred to as the *Subject Property* and incorporated by reference herein; and

WHEREAS, the Planning and Zoning Commission of the City of Rockwall and the governing body of the City of Rockwall in compliance with the laws of the State of Texas and the ordinances of the City of Rockwall have given the requisite notices by publication and otherwise, and have held public hearings and afforded a full and fair hearing to all property owners generally and to all persons interested in and situated in the affected area, and in the vicinity thereof, and the governing body in the exercise of its legislative discretion, has concluded that Planned Development District 32 (PD-32) [*Ordinance No. 17-22*] and the Unified Development Code [*Ordinance No. 20-02*] should be amended as follows:

NOW, THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS:

SECTION 1. That Planned Development District 32 (PD-32) [*Ordinance No. 17-22*] and the Unified Development Code [*Ordinance No. 20-02*], as heretofore amended, shall be further amended by adopting this *PD Development Plan* and amending the official zoning map of the City of Rockwall for the *Subject Property*; and,

SECTION 2. That development of the *Subject Property* shall generally be in accordance with the *Concept Plan*, depicted in *Exhibit 'B'* of this ordinance, attached hereto and incorporated herein by reference as *Exhibit 'B'*, which is deemed hereby to be a condition of approval of the amended zoning classification for the *Subject Property*; and,

SECTION 3. That development of the *Subject Property* shall generally be in accordance with the *Conceptual Building Elevations*, depicted in *Exhibit 'C'* of this ordinance, attached hereto and incorporated herein by reference as *Exhibit 'C'*, which is deemed hereby to be a condition of approval of the amended zoning classification for the *Subject Property*; and,

SECTION 4. That the *Subject Property* shall be used only in the manner and for the purposes provided for in Planned Development District 32 (PD-32) [*Ordinance No. 17-22*], the Unified Development Code [*Ordinance No. 20-02*], and in compliance with the following conditions and requirements:

- (1) The development of the subject property shall generally conform to the *Concept Plan* depicted in *Exhibit 'B'* of this ordinance.
- (2) The development of the subject property shall generally conform to the proposed *Conceptual Building Elevations* depicted in *Exhibit 'C'* of this ordinance and to the design guidelines contained in *Resolution No. 10-40*.
- (3) The proposed townhome development shall not contain more than eight (8) townhomes.
- (4) All building materials and color schemes proposed for this development should conform to the requirements stipulated by Planned Development District 32 (PD-32) [*as amended*].
- (5) Prior to the issuance of a building permit the applicant shall submit and seek approval for a detailed *PD Site Plan* that demonstrates compliance with all applicable standards of Planned Development District 32 (PD-32) [*as amended*] and with the requirements approved in this ordinance.

SECTION 5. That any person, firm, or corporation violating any of the provisions of this ordinance shall be deemed guilty of a misdemeanor and upon conviction shall be punished by a penalty of fine not to exceed the sum of *Two Thousand Dollars* (\$2,000.00) for each offense and each and every day such offense shall continue shall be deemed to constitute a separate offense;

SECTION 6. That if any section, paragraph, or provision of this ordinance or the application of that section, paragraph, or provision to any person, firm, corporation or situation is for any reason judged invalid, the adjudication shall not affect any other section, paragraph, or provision of this ordinance or the application of any other section, paragraph or provision to any other person, firm, corporation or situation, nor shall adjudication affect any other section, paragraph, or provision of the Unified Development Code, and the City Council declares that it would have adopted the valid portions and applications of the ordinance without the invalid parts and to this end the provisions for this ordinance are declared to be severable;

SECTION 7. The standards in this ordinance shall control in the event of a conflict between this ordinance and any provision of the Unified Development Code or any provision of the City Code, ordinance, resolution, rule, regulation, or procedure that provides a specific standard that is different from and inconsistent with this ordinance. References to zoning district regulations or other standards in the Unified Development Code (including references to the *Unified Development Code*), and references to overlay districts, in this ordinance or any of the Exhibits hereto are those in effect on the date this ordinance was passed and approved by the City Council of the City of Rockwall, Texas;

SECTION 8. That this ordinance shall take effect immediately from and after its passage;

**PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS,
THIS THE 3rd DAY OF MARCH, 2025.**

Trace Johannesen, *Mayor*

ATTEST:

Kristy Teague, *City Secretary*

APPROVED AS TO FORM:

Frank J. Garza, *City Attorney*

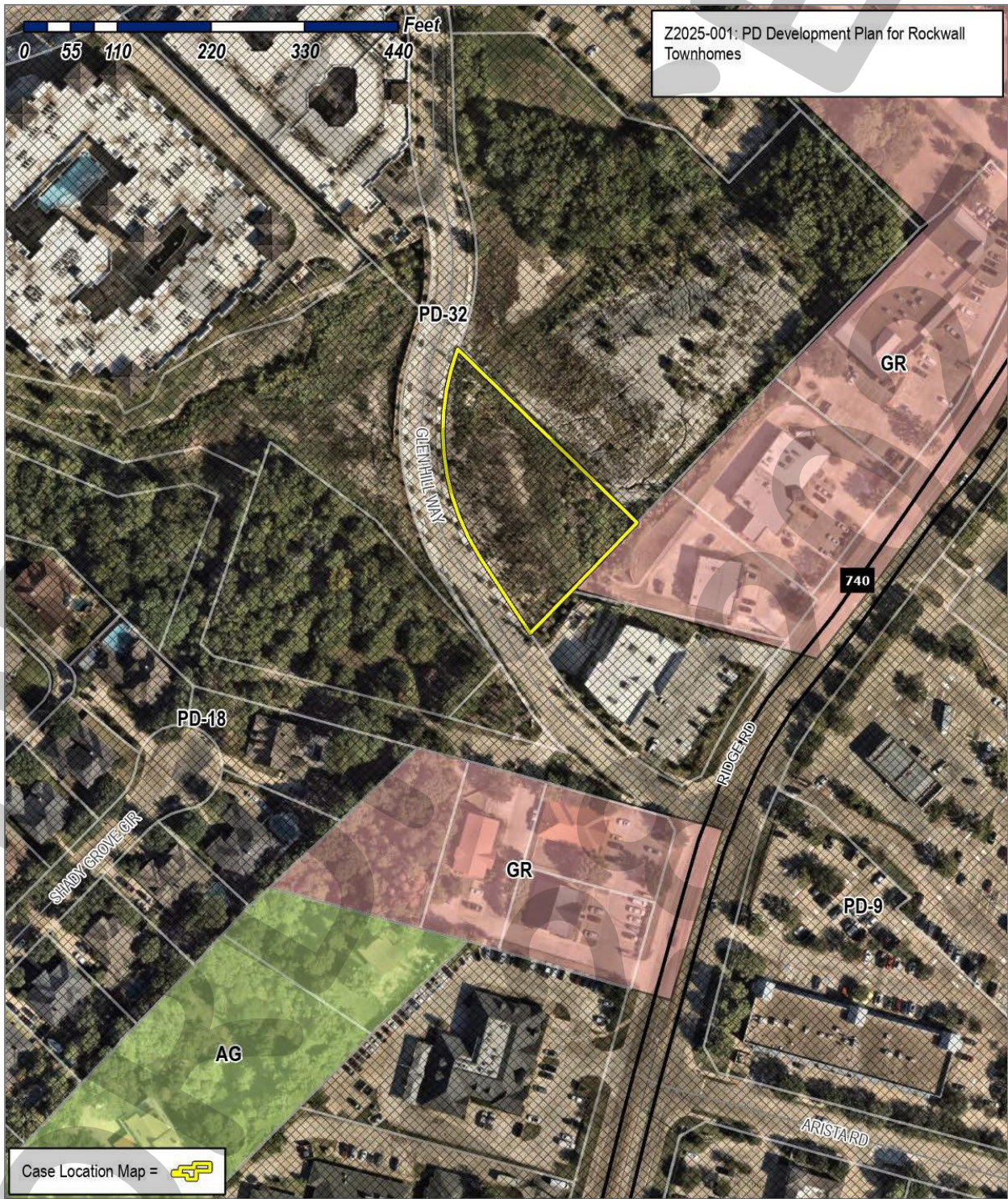
1st Reading: February 18, 2025

2nd Reading: March 3, 2025

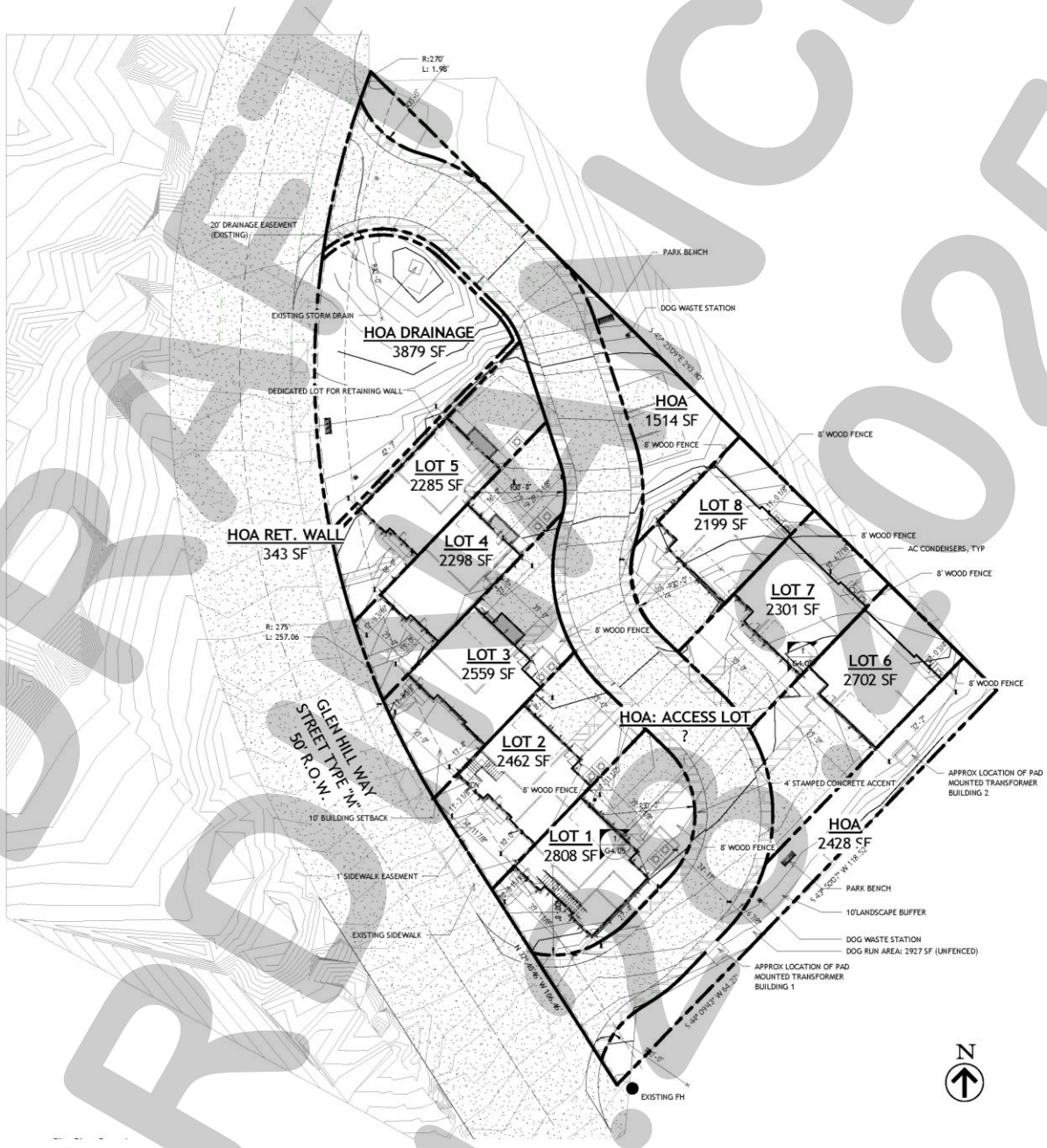
DRAFT
ORDINANCE
01.28.2025

**Exhibit 'A':
Location Map**

Legal Description: Lot 3, Block A, Harbor Hills Addition



**Exhibit 'B':
Concept Plan**



**Exhibit 'C':
Conceptual Building Elevations**



PROJECT COMMENTS



CITY OF ROCKWALL
385 S. GOLIAD STREET
ROCKWALL, TEXAS 75087
PHONE: (972) 771-7700

DATE: 1/24/2025

PROJECT NUMBER: Z2025-002
PROJECT NAME: SUP for 907 N. Goliad Street
SITE ADDRESS/LOCATIONS: 907 N GOLIAD ST
CASE CAPTION:

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
	Henry Lee	01/24/2025	Approved w/ Comments

01/24/2025: Please address the following comments (M= Mandatory Comments; I = Informational Comments)

I.1 This request is for the approval of a Specific Use Permit (SUP) for a General Retail Store and Limited Service Restaurant on a 0.1617-acre parcel of land identified as Lot 1, Block 1, Henry Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 50 (PD-50) for Residential Office (RO) District land uses, situated within the North Goliad Corridor Overlay (NGC OV) District, and addressed as 907 N. Goliad Street.

I.2 For questions or comments concerning this case please contact Angelica Guevara in the Planning Department at (972) 772-6438 or email aguevara@rockwall.com.

M.3 For reference, include the case number (Z2025-002) in the lower right-hand corner of all pages on future submittals.

I.4 A General Retail Store is defined as a "...facility or area for the retail sale of general merchandise ... to the public for direct consumption and not for wholesale." In this case, the General Retail Store will be in conjunction with a Medical Office, and will sell merchandise related to the Medical Office business.

I.5 A Limited Service Restaurant is defined as a "...building or portion of a building, where the primary business is the on-premises sale of prepared food where patrons generally order or select items and pay before eating. Food and drink may be consumed on premises without employee table service..." In this case, the Limited Service Restaurant will be in conjunction with a Medical Office, and will sell food and drink items to the clients of the Office business.

I.6 The subject property is zoned Planned Development District 50 (PD-50) for Residential Office (RO) District land uses. In a Residential Office (RO) District, a General Retail Store and a Restaurant require the approval of a Specific Use Permit (SUP). The SUP requirement is in place "...to allow discretionary consideration of certain uses that would typically be considered incompatible within certain locations of a zoning district, but may become compatible with the addition of special provisions, conditions or restrictions." In this case, the City Council -- pending a recommendation from the Planning and Zoning Commission -- must determine if the proposed General Retail Store and Limited Service Restaurant in conjunction with a Medical Office Building is compatible with the surrounding businesses.

M.7 Please provide a stripping plan that brings the existing parking spaces into conformance. The current parking spaces do not meet the Engineering Departments size minimums. In this case, they need to 9'x20'. In review of the property, the four (4) parking spaces on the north will need to be shifted north in order to increase the depth of the three

(3) south parking spaces. If you have any questions please contact staff.

M.8 Please review the attached Draft Ordinance prior to the January 28, 2025 Planning and Zoning Commission Work Session meeting, and provide staff with your markups by no later than February 4, 2025. In reviewing the Draft Ordinance, please pay close attention to the operational conditions.

I.9 Staff has identified the aforementioned items necessary to continue the submittal process. Please make these revisions and corrections, and provide any additional information that is requested. Revisions for this case will be due on February 4, 2025; however, it is encouraged for applicants to submit revisions as soon as possible to give staff ample time to review the case prior to the February 11, 2025, Planning and Zoning Commission Public Hearing Meeting. The Planning and Zoning Commission Work Session Meeting for this case will be held on January 28, 2025.

I.10 The projected City Council meeting dates for this case will be February 18, 2025 (1st Reading) and March 3, 2025 (2nd Reading).

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
ENGINEERING	Madelyn Price	01/23/2025	Approved w/ Comments
01/23/2025: 1. All parking spots must be minimum 20' long, 9' wide. Existing will have to be changed. All drive aisles to be a minimum of 24'.			

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
BUILDING	Craig Foshee	01/23/2025	Approved
No Comments			

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
FIRE	Ariana Kistner	01/21/2025	Approved
No Comments			

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
GIS	Lance Singleton	01/21/2025	Approved
No Comments			

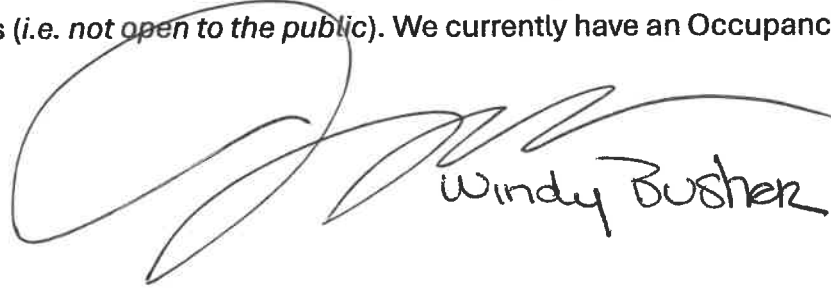
DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
POLICE	Chris Cleveland	01/22/2025	Approved
No Comments			

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
PARKS	Travis Sales	01/21/2025	Approved
No Comments			

January 13, 2025

To Whom It May Concern:

I, Windy Busher (owner). Request an SUP for Restaurant/retail. We are currently using 907 as office/retail space, adjacent to our other business location at 909. We are requesting an SUP (Special use permit) so that we may provide our patrons with a small barista / sweet shop and retail experience. This is an accessory to our primary use. This "Restaurant" / retail will be Limited Service in nature (*i.e. no table service*), and for the use of our primary business's patrons (*i.e. not open to the public*). We currently have an Occupancy Permit in place.



Windy Busher

All parking spots must be minimum 20' long, 9' wide. Existing will have to be changed. All drive aisles to be a minimum of 24'



DEVELOPMENT APPLICATION

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING & ZONING CASE NO. _____

NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING: _____

CITY ENGINEER: _____

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST [SELECT ONLY ONE BOX]:

PLATTING APPLICATION FEES:

- MASTER PLAT (\$100.00 + \$15.00 ACRE) ¹
- PRELIMINARY PLAT (\$200.00 + \$15.00 ACRE) ¹
- FINAL PLAT (\$300.00 + \$20.00 ACRE) ¹
- REPLAT (\$300.00 + \$20.00 ACRE) ¹
- AMENDING OR MINOR PLAT (\$150.00)
- PLAT REINSTATEMENT REQUEST (\$100.00)

SITE PLAN APPLICATION FEES:

- SITE PLAN (\$250.00 + \$20.00 ACRE) ¹
- AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING PLAN (\$100.00)

ZONING APPLICATION FEES:

- ZONING CHANGE (\$200.00 + \$15.00 ACRE) ¹
- SPECIFIC USE PERMIT (\$200.00 + \$15.00 ACRE) ^{1 & 2}
- PD DEVELOPMENT PLANS (\$200.00 + \$15.00 ACRE) ¹

OTHER APPLICATION FEES:

- TREE REMOVAL (\$75.00)
- VARIANCE REQUEST/SPECIAL EXCEPTIONS (\$100.00) ²

NOTES:

¹: IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE.
²: A **\$1,000.00** FEE WILL BE ADDED TO THE APPLICATION FEE FOR ANY REQUEST THAT INVOLVES CONSTRUCTION WITHOUT OR NOT IN COMPLIANCE TO AN APPROVED BUILDING PERMIT.

PROPERTY INFORMATION [PLEASE PRINT]

ADDRESS

907 N. Goliad St

SUBDIVISION

LOT

BLOCK

GENERAL LOCATION

ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

CURRENT ZONING

PD-50

CURRENT USE

Offices / Retail

PROPOSED ZONING

no change

PROPOSED USE

Offices / Retail / restaurant

ACREAGE

LOTS [CURRENT]

1

LOTS [PROPOSED]

no change

SITE PLANS AND PLATS: BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB3167 THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.

OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

OWNER

Revive (formerly Bayside)

APPLICANT

Widdlands Suel / Connect

CONTACT PERSON

Windy Busher

CONTACT PERSON

Lee Wickland

ADDRESS

115 Wheelers Way

ADDRESS

2002 Longbridge Rd.

CITY, STATE & ZIP

Rockwall TX 75087

CITY, STATE & ZIP

Heath, TX 75126

PHONE

(909) 730-1992

PHONE

540-521-7250

E-MAIL

wb@we-revive.com

E-MAIL

Teewickland@gmail.com

NOTARY VERIFICATION [REQUIRED]

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED _____ [OWNER] THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING:

Windy M. Busher

[OWNER] THE UNDERSIGNED, WHO

"I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION; ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT, AND THE APPLICATION FEE OF \$ 200 TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS THE 14 DAY OF JANUARY, 2025 BY SIGNING THIS APPLICATION, I AGREE THAT THE CITY OF ROCKWALL (I.E. "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE ANY COPYRIGHTED INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR PUBLIC INFORMATION."

GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE 14 DAY OF JANUARY, 2025

OWNER'S SIGNATURE

NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS

[Signature]
Erika Minjarez



0 10 20 40 60 80 Feet

Z2025-002: Specific Use Permit (SUP) for a General Retail Store and Limited Service Restaurant

SF-7

PD-50

205

N GOLIAD ST

Case Location Map = 



City of Rockwall

Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087
(P): (972) 771-7745
(W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.

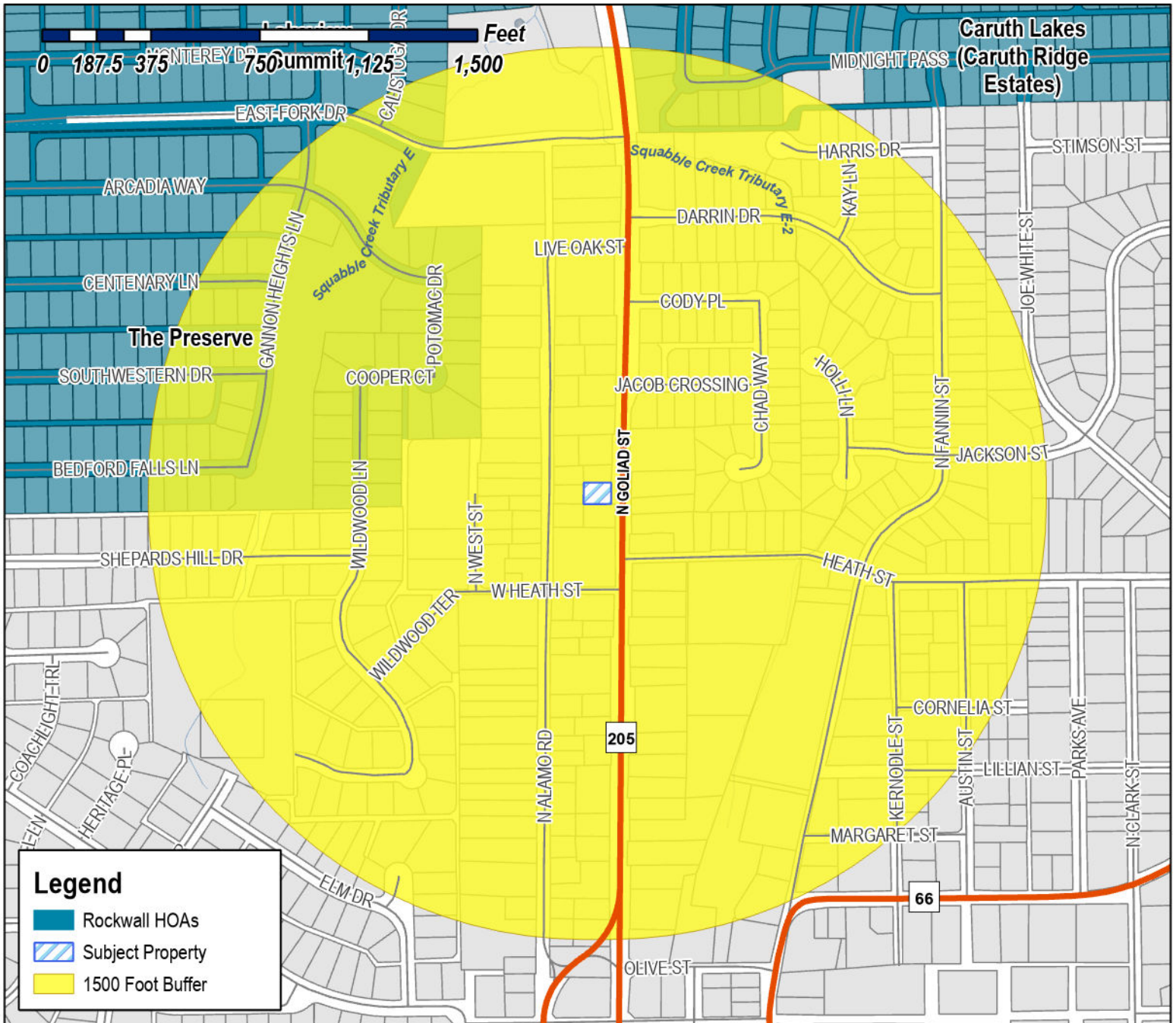




City of Rockwall

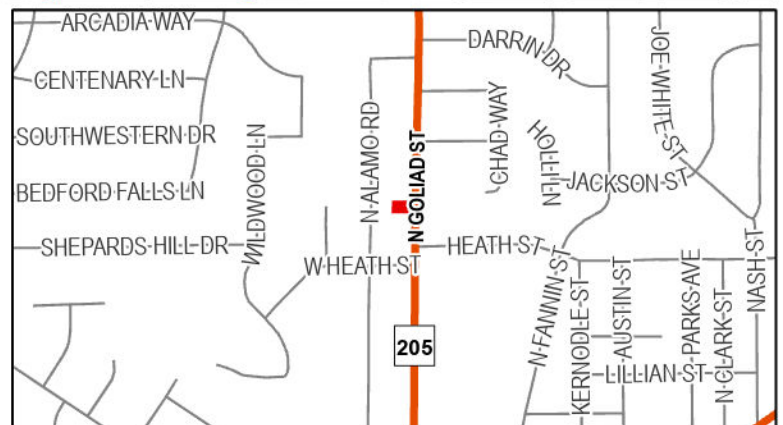
Planning & Zoning Department
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Case Number: Z2025-002
Case Name: SUP for Revive Aesthetics
Case Type: Zoning
Zoning: Planned Development District 50 (PD-50)
Case Address: 907 N. Goliad Street

Date Saved: 1/17/2025
 For Questions on this Case Call (972) 771-7745



From: [Zavala, Melanie](#)
Cc: [Miller, Ryan](#); [Lee, Henry](#); [Ross, Bethany](#); [Guevara, Angelica](#)
Subject: Neighborhood Notification Program [Z2025-002]
Date: Wednesday, January 22, 2025 1:29:05 PM
Attachments: [Public Notice \(01.17.2025\).pdf](#)
[HOA Map \(01.21.2025\).pdf](#)

HOA/Neighborhood Association Representative:

Per your participation in the [Neighborhood Notification Program](#), you are receiving this notice to inform your organization that a zoning case has been filed with the City of Rockwall that is located within 1,500-feet of the boundaries of your neighborhood. As the contact listed for your organization, you are encouraged to share this information with the residents of your subdivision. Please find the attached map detailing the property requesting to be rezoned in relation to your subdivision boundaries. Additionally, below is the summary of the zoning case that will be published in the Rockwall Herald Banner on [Friday, January 24, 2025](#). The Planning and Zoning Commission will hold a public hearing on [Tuesday, February 11, 2025 at 6:00 PM](#), and the City Council will hold a public hearing on [Tuesday, February 18, 2025 at 6:00 PM](#). Both hearings will take place at 6:00 PM at City Hall, 385 S. Goliad, Rockwall, TX 75087.

All interested parties are encouraged to submit public comments via email to Planning@rockwall.com at least 30 minutes in advance of the meeting. Please include your name, address, and the case number your comments are referring to. These comments will be read into the record during each of the public hearings. Additional information on all current development cases can be found on the City's website: <https://sites.google.com/site/rockwallplanning/development/development-cases>.

Z2025-002:SUP for General Retail Store and Limited Service Restaurant

Hold a public hearing to discuss and consider a request by Lee Wickland of Wickland's Sweet Connection on behalf of Windy Busher of Revive for the approval of a [Specific Use Permit \(SUP\)](#) for a General Retail Store and Limited Service Restaurant on a 0.1617-acre parcel of land identified as Lot 1, Block 1, Henry Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 50 (PD-50) for Residential Office (RO) District land uses, situated within the North Goliad Corridor Overlay (NGC OV) District, addressed as 907 N. Goliad Street, and take any action necessary.

Thank you,

Melanie Zavala

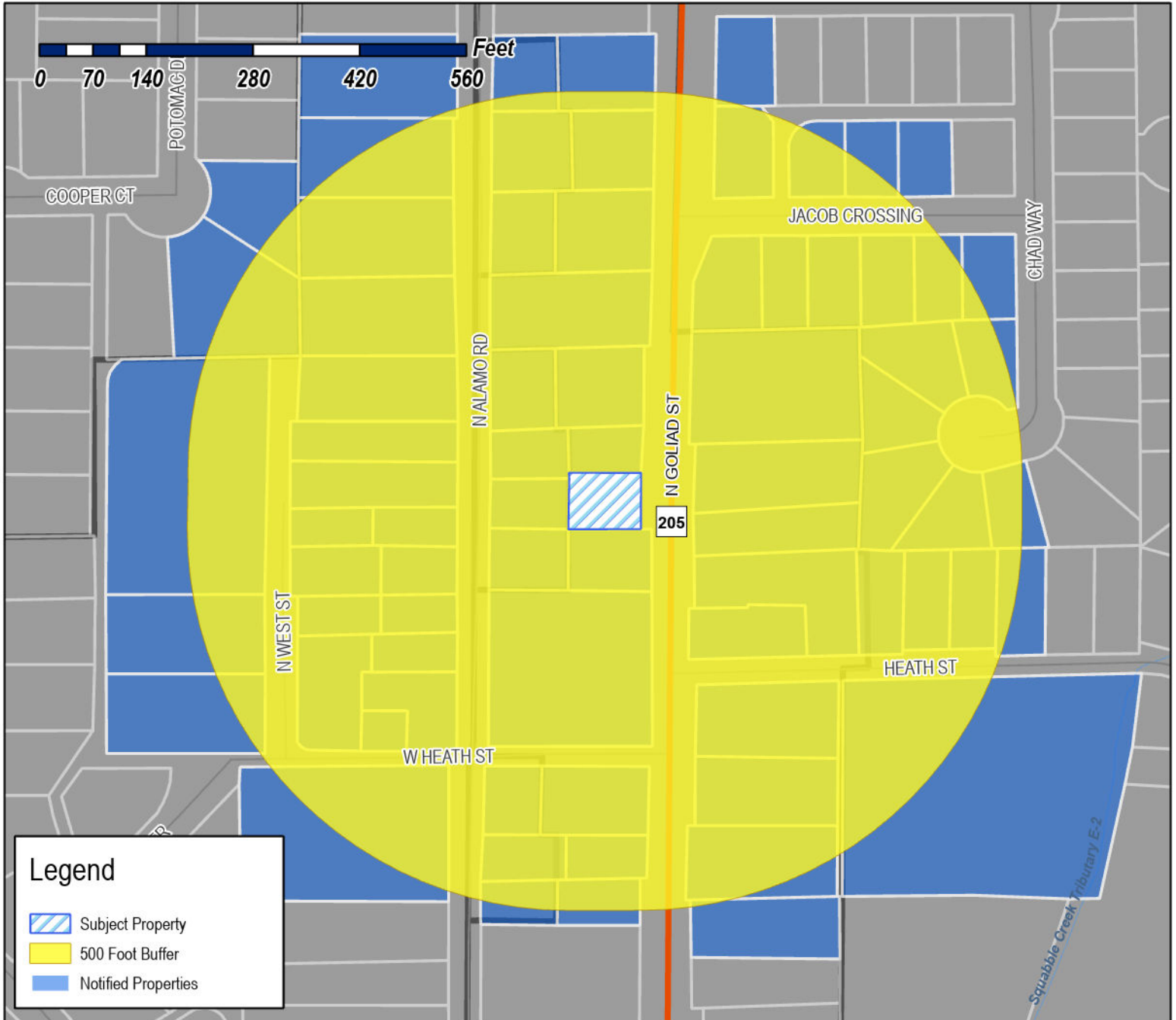
Planning & Zoning Coordinator | Planning Dept. | City of Rockwall
385 S. Goliad Street | Rockwall, TX 75087
[Planning & Zoning Rockwall](#)
972-771-7745 Ext. 6568



City of Rockwall

Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087
(P): (972) 771-7745
(W): www.rockwall.com

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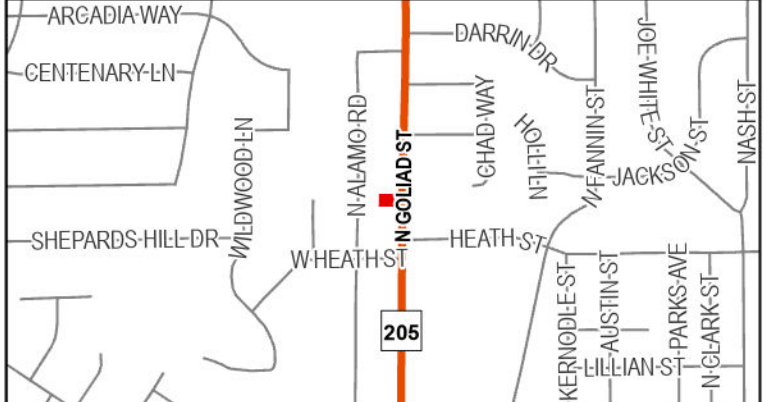


Legend

- Subject Property
- 500 Foot Buffer
- Notified Properties

Case Number: Z2025-002
Case Name: SUP for Revive Aesthetics
Case Type: Zoning
Zoning: Planned Development District 50 (PD-50)
Case Address: 907 N. Goliad Street

Date Saved: 1/17/2025
 For Questions on this Case Call: (972) 771-7745



RESIDENT
GOLIAD/HEATH/ALAMO
ROCKWALL, TX 75087

RESIDENT
100 E HEATH
ROCKWALL, TX 75087

CALLIER JENNA AND LOGAN
104 RUSH CREEK
HEATH, TX 75032

HILL TOBY VERN H & ANGELA DAWN
113 E HEATH ST
ROCKWALL, TX 75087

RESIDENT
115 E HEATH ST
ROCKWALL, TX 75087

STORY CATHERINE C
117 E HEATH ST
ROCKWALL, TX 75087

GARRISON MONA AND RONALD
119 E HEATH STREET
ROCKWALL, TX 75087

HPA TEXAS SUB 2017-1 LLC
120 S RIVERSIDE PLZ STE 2000
CHICAGO, IL 60606

FITE CENTRE LLC
1200 FRONTIER TRAIL
ROCKWALL, TX 75032

380 PROPERTY INC
12207 DARK HOLLOW RD
ROCKWALL, TX 75087

VANDERSLICE R D AND LYNN
1408 S LAKESHORE DR
ROCKWALL, TX 75087

VANDERSLICE ROBERT
1408 S LAKESHORE DRIVE
ROCKWALL, TX 75087

ESTATE OF DOSVILLE PEOPLES
1410 S GOLIAD ST APT 1707
ROCKWALL, TX 75087

ESTATE OF DOSVILLE PEOPLES
1410 S GOLIAD ST APT 1707
ROCKWALL, TX 75087

DOUBLE T VENTURES LLC
1500 S KREYMER LN
WYLIE, TX 75098

DOUBLE T VENTURES LLC
1500 S KREYMER LN
WYLIE, TX 75098

DOUBLE T VENTURES LLC
1500 S KREYMER LN
WYLIE, TX 75098

BARNETT JOSEPH RODNEY & LADONNA
1855 HIDDEN HILLS
ROCKWALL, TX 75087

CARLON WILLIAM ANDREW
192 JACOB CROSSING
ROCKWALL, TX 75087

FRYER WILLIAM L III AND LAUREN S
193 JACOB CROSSING
ROCKWALL, TX 75087

RESIDENT
194 CODY PLACE
ROCKWALL, TX 75087

RESIDENT
196 JACOB CROSSING
ROCKWALL, TX 75087

CHARLES & JANE SIEBERT LIVING TRUST
CHRISTOPHER CHARLES SIEBERT & JANE M
SIEBERT - TRUSTEES
199 JACOB XING
ROCKWALL, TX 75087

917 PROPERTIES LLC
2 MANOR COURT
HEATH, TX 75032

VANILLA BEAN PROPERTIES SERIES 5 LLC
2 MANOR COURT
HEATH, TX 75032

RESIDENT
200 JACOB CROSSING
ROCKWALL, TX 75087

CITY LIFT STATION
201 E WASHINGTON ST
ROCKWALL, TX 75087

RESIDENT
203 JACOB CROSSING
ROCKWALL, TX 75087

PHILLIPS TERESA
204 JACOB CROSSING
ROCKWALL, TX 75087

RESIDENT
204 W HEATH ST
ROCKWALL, TX 75087

NBN COMMERCIAL GROUP LLC
2040 N BELT LINE RD STE 400
MESQUITE, TX 75150

PRITCHETT JOHNETTA
206 W HEATH ST
ROCKWALL, TX 75087

RESIDENT
207 JACOB CROSSING
ROCKWALL, TX 75087

RESIDENT
208 JACOB CROSSING
ROCKWALL, TX 75087

ADAMS FAITH INVESTMENT LLC
208 SUMMIT RIDGE
ROCKWALL, TX 75087

RESIDENT
208 W HEATH ST
ROCKWALL, TX 75087

SHIPLEY JASON P & ELIZABETH
212 JACOB XING
ROCKWALL, TX 75087

DAVIS RICHARD S & LYNDELL R
2175 LAKE FOREST DR
ROCKWALL, TX 75087

KHATER CHARLES ETUX
2368 E FM 552
ROCKWALL, TX 75087

HOLLON GREGORY D
2778 S FM 549
ROCKWALL, TX 75032

WEST MICHAEL
299 SHENNENDOAH LANE
ROCKWALL, TX 75087

AUSTIN MICHAEL CAIN 2005 TRUST
301 COOPER COURT
ROCKWALL, TX 75087

HARKLAU CAROLINE
312 DARTBROOK
ROCKWALL, TX 75087

RB40 INVESTMENTS LLC
400 CHIPPENDALE DRIVE
HEATH, TX 75032

TURNER KYLE RADEY
4002 BROWNSTONE CT
DALLAS, TX 75204

DAVENPORT RENTAL PROPERTIES - SERIES 200
DARRIN DRIVE
407 CASTLE PINES DRIVE
HEATH, TX 75032

FRENCH MELISSA AND JACOB AARON
5582 YARBOROUGH DR
FORNEY, TX 75126

CANUP DAVID & PATRICIA
602 W RUSK ST
ROCKWALL, TX 75087

CASTRO MICHAEL AND RENE
700 WINDSONG LN
ROCKWALL, TX 75087

RECSA 911 NORTH GOLIAD STREET SERIES
750 JUSTIN RD
ROCKWALL, TX 75087

MASON MARK S & TAMARA M
802 POTOMAC DRIVE
ROCKWALL, TX 75087

RESIDENT
806 N GOLIAD
ROCKWALL, TX 75087

RESIDENT
807 N GOLIAD
ROCKWALL, TX 75087

LEMMON LANDON &
CAITLIN WALKER
808 N ALAMO RD
ROCKWALL, TX 75087

RESIDENT
808 N GOLIAD
ROCKWALL, TX 75087

MARTINEZ RAQUEL P
809 N GOLIAD ST
ROCKWALL, TX 75087

SWIERCINSKY LEXUS M
810 N ALAMO RD
ROCKWALL, TX 75087

RESIDENT
810 N GOLIAD
ROCKWALL, TX 75087

AOUN PIERRE E
811 N GOLIAD ST
ROCKWALL, TX 75087

RICKY JOHN SMITH AND DEBORAH KAY SMITH
LIVING TRUST - 09/27/2008
AND AS AMENDED AND RESTATED ON
08/22/2016
812 N ALAMO ROAD
ROCKWALL, TX 75087

RESIDENT
812 N GOLIAD
ROCKWALL, TX 75087

CAIN JAMES O
815 N ALAMO RD
ROCKWALL, TX 75087

INGLES CRISTINA LA SAIGNE
901 N ALAMO
ROCKWALL, TX 75087

RESIDENT
902 N GOLIAD
ROCKWALL, TX 75087

MOMSEN KIMBERLY
903 N ALAMO ROAD
ROCKWALL, TX 75087

RESIDENT
904 N GOLIAD ST
ROCKWALL, TX 75087

HAM JOSHUA L
905 N ALAMO RD
ROCKWALL, TX 75087

RESIDENT
905 N WEST ST
ROCKWALL, TX 75087

WILLIAMS RICKY AND ELIZABETH
906 N ALAMO RD
ROCKWALL, TX 75087

WILLIAMS RICKY AND ELIZABETH
906 N ALAMO RD
ROCKWALL, TX 75087

TCB CONSTRUCTION GROUP LLC
MANNY LOZANO
906 N GOLIAD ST
ROCKWALL, TX 75087

BRIONES RONALD AND THERESA
906 N WEST
ROCKWALL, TX 75087

RESIDENT
907 N GOLIAD ST
ROCKWALL, TX 75087

JC GAERLAN LLC
907 NORTH ALAMO ROAD
ROCKWALL, TX 75087

PIERCE CAROLYN AND RUSSELL DAVID
908 N ALAMO RD
ROCKWALL, TX 75087

HEAVENLY HANDS BIRTHING CENTER PLLC
908 N GOLIAD ST
ROCKWALL, TX 75087

MARTINKUS NICOLE
908 N WEST ST
ROCKWALL, TX 75087

MOLINA JOE C II
909 N ALAMO
ROCKWALL, TX 75087

RESIDENT
909 N GOLIAD
ROCKWALL, TX 75087

MCFADIN SARA TERESA
909 N WEST STREET
ROCKWALL, TX 75087

ZAVALA VICTOR V
910 N ALAMO RD
ROCKWALL, TX 75087

PERRY RUBY DELL
910 N WEST ST
ROCKWALL, TX 75087

WHITE TIMOTHY E
9104 PRIVATE ROAD 2325
TERRELL, TX 75160

LEWIS BEN
911 N ALAMO
ROCKWALL, TX 75087

RESIDENT
911 N GOLIAD
ROCKWALL, TX 75087

JONES PAMELA J
912 N ALAMO RD
ROCKWALL, TX 75087

RESIDENT
912 N GOLIAD
ROCKWALL, TX 75087

RESIDENT
913 N ALAMO RD
ROCKWALL, TX 75087

BAXTER JAKE STEPHEN AND CATHERINE
ELIZABETH
915 N ALAMO RD
ROCKWALL, TX 75087

RESIDENT
915 N GOLIAD
ROCKWALL, TX 75087

RESIDENT
917 N ALAMO
ROCKWALL, TX 75087

RESIDENT
917 N GOLIAD
ROCKWALL, TX 75087

RESIDENT
918 N ALAMO
ROCKWALL, TX 75087

RESIDENT
919 N GOLIAD
ROCKWALL, TX 75087

BLOCK AMY AND TRAVIS
921 N ALAMO RD
ROCKWALL, TX 75087

BARRY BARBARA
922 N ALAMO RD
ROCKWALL, TX 75087

HUDSON SHELI O
923 N ALAMO
ROCKWALL, TX 75087

CHAVEZ ENRIQUE
923 N GOLIAD ST
ROCKWALL, TX 75087

RESIDENT
924 N ALAMO
ROCKWALL, TX 75087

TAILLAC JEAN ANTHONY
944 CHAD WAY
ROCKWALL, TX 75087

RICE JOSHUA M
947 CHAD WAY
ROCKWALL, TX 75087

PRINGLE PHYLLIS M
948 CHAD WAY
ROCKWALL, TX 75087

CORENO FRANCISCO R
951 CHAD WAY
ROCKWALL, TX 75087

BRUMIT COURTNEY M AND DARREN D
952 CHAD WAY
ROCKWALL, TX 75087

MCCROSKEY DEE DEE RAYE
955 CHAD WAY
ROCKWALL, TX 75087

WOMEN IN NEED INC
PO BOX 349
GREENVILLE, TX 75403

PUBLIC NOTICE



CITY OF ROCKWALL
PLANNING AND ZONING DEPARTMENT
PHONE: (972) 771-7745
EMAIL: PLANNING@ROCKWALL.COM

Property Owner and/or Resident of the City of Rockwall:

You are hereby notified that the City of Rockwall Planning and Zoning Commission and City Council will consider the following application:

Z2025-002: SUP for General Retail Store and Limited Service Restaurant

Hold a public hearing to discuss and consider a request by Lee Wickland of Wickland's Sweet Connection on behalf of Windy Busher of Revive for the approval of a Specific Use Permit (SUP) for a General Retail Store and Limited Service Restaurant on a 0.1617-acre parcel of land identified as Lot 1, Block 1, Henry Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 50 (PD-50) for Residential Office (RO) District land uses, situated within the North Goliad Corridor Overlay (NGC OV) District, addressed as 907 N. Goliad Street, and take any action necessary.

For the purpose of considering the effects of such a request, the Planning and Zoning Commission will hold a public hearing on Tuesday, February 11, 2025 at 6:00 PM, and the City Council will hold a public hearing on Tuesday, February 18, 2025 at 6:00 PM. These hearings will be held in the City Council Chambers at City Hall, 385 S. Goliad Street.

As an interested property owner, you are invited to attend these meetings. If you prefer to express your thoughts in writing please return the form to:

Angelica Guevara
Rockwall Planning and Zoning Dept.
385 S. Goliad Street
Rockwall, TX 75087

You may also email your comments to the Planning Department at planning@rockwall.com. If you choose to email the Planning Department please include your name and address for identification purposes.

Your comments must be received by Tuesday, February 18, 2025 at 4:00 PM to ensure they are included in the information provided to the City Council.

Sincerely,

Ryan Miller, AICP
Director of Planning & Zoning



MORE INFORMATION ON THIS CASE CAN BE FOUND AT: <https://sites.google.com/site/rockwallplanning/development/development-cases>

--- PLEASE RETURN THE BELOW FORM ---

Case No. Z2025-002: SUP for General Retail Store and Limited Service Restaurant

Please place a check mark on the appropriate line below:

- I am in favor of the request for the reasons listed below.
- I am opposed to the request for the reasons listed below.

Four horizontal grey bars for providing reasons for the response.

Name: [Grey box]
Address: [Grey box]

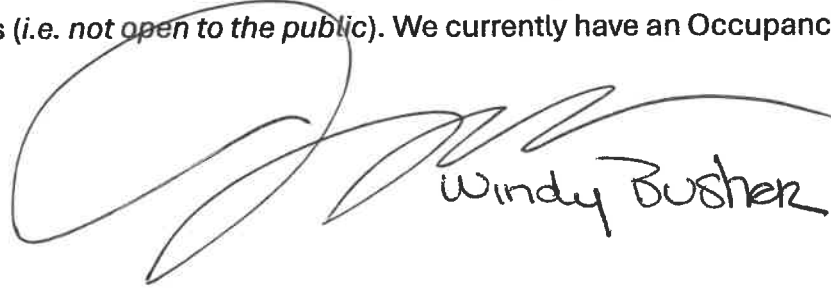
Tex. Loc. Gov. Code, Sec. 211.006 (d) If a proposed change to a regulation or boundary is protested in accordance with this subsection, the proposed change must receive, in order to take effect, the affirmative vote of at least three-fourths of all members of the governing body. The protest must be written and signed by the owners of at least 20 percent of either: (1) the area of the lots or land covered by the proposed change; or (2) the area of the lots or land immediately adjoining the area covered by the proposed change and extending 200 feet from that area.

PLEASE SEE LOCATION MAP OF SUBJECT PROPERTY ON THE BACK OF THIS NOTICE

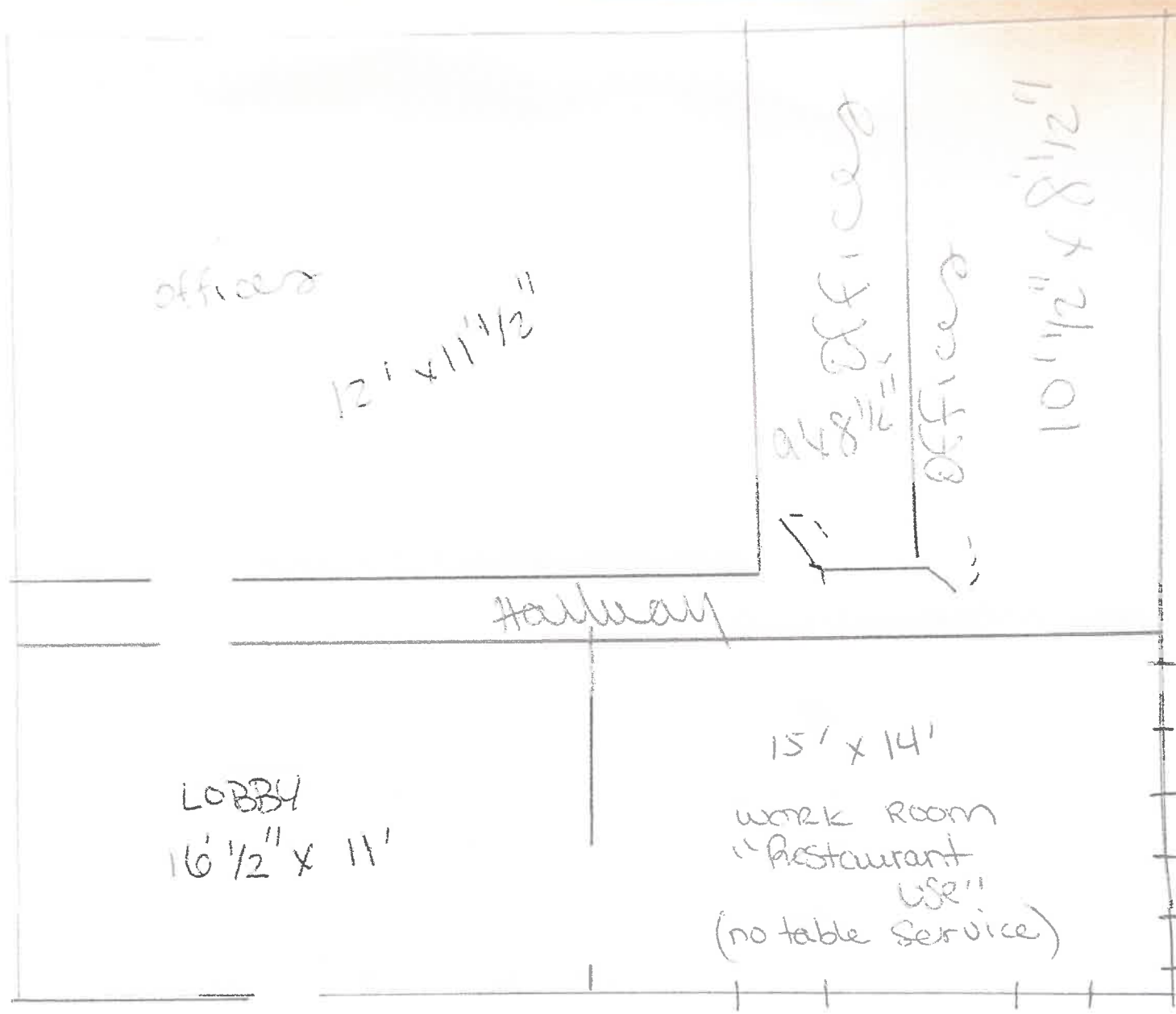
January 13, 2025

To Whom It May Concern:

I, Windy Busher (owner). Request an SUP for Restaurant/retail. We are currently using 907 as office/retail space, adjacent to our other business location at 909. We are requesting an SUP (Special use permit) so that we may provide our patrons with a small barista / sweet shop and retail experience. This is an accessory to our primary use. This "Restaurant" / retail will be Limited Service in nature (*i.e. no table service*), and for the use of our primary business's patrons (*i.e. not open to the public*). We currently have an Occupancy Permit in place.



Windy Busher



901 North Collier St
 Beck with TV
 TSC 87

- ① total ~~1011~~
- ② SUP Request = 200 ~~1011~~

CITY OF ROCKWALL

ORDINANCE NO. 25-XX

SPECIFIC USE PERMIT NO. S-3XX

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, AMENDING THE UNIFIED DEVELOPMENT CODE (UDC) [ORDINANCE NO. 20-02] OF THE CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS, AS PREVIOUSLY AMENDED, SO AS TO GRANT A SPECIFIC USE PERMIT (SUP) TO ALLOW A *GENERAL RETAIL STORE AND LIMITED SERVICE RESTAURANT* ON A 0.1617-ACRE PARCEL OF LAND IDENTIFIED AS LOT 1, BLOCK 1, HENRY ADDITION, CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS; AND MORE SPECIFICALLY DEPICTED AND DESCRIBED IN *EXHIBIT 'A'* OF THIS ORDINANCE; PROVIDING FOR SPECIAL CONDITIONS; PROVIDING FOR A PENALTY OF FINE NOT TO EXCEED THE SUM OF TWO THOUSAND DOLLARS (\$2,000.00) FOR EACH OFFENSE; PROVIDING FOR A SEVERABILITY CLAUSE; PROVIDING FOR A REPEALER CLAUSE; PROVIDING FOR AN EFFECTIVE DATE.

WHEREAS, the City has received a request from Lee Wickland of Wickland's Sweet Connection on behalf of Windy Busher of Revive for the approval of a Specific Use Permit (SUP) to allow a *General Retail Store and Limited Service Restaurant* on a 0.1617-acre parcel of land identified as Lot 1, Block 1, Henry Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 50 (PD-50) for Residential Office (RO) District land uses, addressed as 907 N. Goliad Street, and being more specifically depicted and described in *Exhibit 'A'* of this ordinance, which herein after shall be referred to as the *Subject Property* and incorporated by reference herein; and

WHEREAS, the Planning and Zoning Commission of the City of Rockwall and the governing body of the City of Rockwall, in compliance with the laws of the State of Texas and the ordinances of the City of Rockwall, have given the requisite notices by publication and otherwise, and have held public hearings and afforded a full and fair hearing to all property owners generally, and to all persons interested in and situated in the affected area and in the vicinity thereof, the governing body in the exercise of its legislative discretion has concluded that the Unified Development Code (UDC) [Ordinance No. 20-02] of the City of Rockwall should be amended as follows:

NOW, THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS:

SECTION 1. That the approval of this ordinance shall supersede all requirements stipulated in *Ordinance No. 15-14*;

SECTION 2. The Unified Development Code (UDC) [Ordinance No. 20-02] of the City of Rockwall, as heretofore amended, be and the same is hereby amended so as to grant a Specific Use Permit (SUP) to allow a *General Retail Store and Limited Service Restaurant* in accordance with Article 04, *Permissible Uses*, of the Unified Development Code (UDC) [Ordinance No. 20-02] on the *Subject Property*; and,

SECTION 3. That the Specific Use Permit (SUP) shall be subject to the requirements set forth in

Subsection 04.02, *Residential Office (RO) District*, of Article 05, *District Development Standards*, of the Unified Development Code (UDC) [Ordinance No. 20-02] -- as heretofore amended and may be amended in the future -- and with the following conditions:

3.1 OPERATIONAL CONDITIONS

The following conditions pertain to the operation of the *General Retail Store* and *Limited Service Restaurant* on the *Subject Property* and conformance to these conditions is required for continued operation:

- 1) The development of the *Subject Property* shall generally conform to the Floor Plan as depicted in *Exhibit 'B'* of this ordinance.
- 2) The *General Retail Store* and *Limited Service Restaurant* shall not occupy more 210 SF of the 1,012 SF *Medical Office Building*.
- 3) Before the issuance of a new Certificate of Occupancy (CO), a stripping plan must be approved by staff, and be installed by the property owner.

3.2 COMPLIANCE

Approval of this ordinance in accordance with Subsection 02.02, *Specific Use Permits (SUP)* of Article 11, *Development Applications and Review Procedures*, of the Unified Development Code (UDC) will require the *Subject Property* to comply with the following:

- 1) Upon obtaining a *Certificate of Occupancy (CO)*, should the business owner operating under the guidelines of this ordinance fail to meet the minimum operational requirements set forth herein and outlined in the Unified Development Code (UDC), the City may (*after proper notice*) initiate proceedings to revoke the Specific Use Permit (SUP) in accordance with Subsection 02.02(F), *Revocation*, of Article 11, *Development Applications and Revision Procedures*, of the Unified Development Code (UDC) [Ordinance No. 20-02].

SECTION 4. That the official zoning map of the City be corrected to reflect the changes in zoning described herein.

SECTION 5. That all ordinances of the City of Rockwall in conflict with the provisions of this ordinance be, and the same are hereby repealed to the extent of that conflict.

SECTION 6. Any person, firm, or corporation violating any of the provisions of this ordinance shall be deemed guilty of a misdemeanor and upon conviction shall be punished by a penalty of fine not to exceed the sum of *TWO THOUSAND DOLLARS (\$2,000.00)* for each offence and each and every day such offense shall continue shall be deemed to constitute a separate offense.

SECTION 7. If any section or provision of this ordinance or the application of that section or provision to any person, firm, corporation, situation or circumstance is for any reason judged invalid, the adjudication shall not affect any other section or provision of this ordinance or the application of any other section or provision to any other person, firm, corporation, situation or circumstance, and the City Council declares that it would have adopted the valid portions and applications of the ordinance without the invalid parts and to this end the provisions of this ordinance shall remain in full force and effect.

SECTION 8. That this ordinance shall take effect immediately from and after its passage.

**PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS,
THIS THE 3rd DAY OF MARCH, 2025.**

Trace Johannesen, *Mayor*

ATTEST:

Kristy Teague, *City Secretary*

APPROVED AS TO FORM:

Frank J. Garza, *City Attorney*

1st Reading: February 18, 2025

2nd Reading: March 3, 2025

Exhibit 'A'
Location Map

Legal Description: Lot 1, Block 1, Henry Addition
Address: 907 N. Goliad Street



Exhibit 'B':
Floor Plan



PROJECT COMMENTS



CITY OF ROCKWALL
385 S. GOLIAD STREET
ROCKWALL, TEXAS 75087
PHONE: (972) 771-7700

DATE: 1/24/2025

PROJECT NUMBER: Z2025-003
PROJECT NAME: Amendment to Planned Development District 46 (PD-46)
SITE ADDRESS/LOCATIONS: 2305 STATE HIGHWAY 276
CASE CAPTION:

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
	Bethany Ross	01/24/2025	Approved w/ Comments

01/24/2025: Z2025-003; Amendment to Planned Development District 46 (PD-46)
Please address the following comments (M= Mandatory Comments; I = Informational Comments)

I.1 This is a request for the approval of a Zoning Change to amend Planned Development District 46 (PD-46) [Ordinance No. 21-32] being a 47.37-acre tract of land situated within the J. A. Ramsey Survey, Abstract No. 186, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 46 (PD-46) for Commercial (C) District land uses, situated within the SH-276 Overlay (SH-276 OV) District, generally located at the northeast corner of Corporate Crossing and SH-276.

I.2 For questions or comments concerning this case please contact Bethany Ross in the Planning Department at (972) 772-6488 or email bross@rockwall.com.

M.3 For reference, include the case number (Z2025-003) in the lower right-hand corner of all pages on future submittals.

I.4 A Building Maintenance, Service, and Sales defined as "(a) facility or area for contracting services such as building repair and maintenance; the installation of plumbing, electrical, air conditioning, and heating equipment; janitorial services; and exterminating services. The retail sale of supplies is permitted as an accessory use." (Subsection 02.02.G.3, of Article 13, UDC)

I.5 The underlying zoning for Planned Development District 46 (PD-46) is Commercial (C) District. Within the Commercial (C) District the Building Maintenance, Service, and Sales with outside storage land use is not permitted. The applicant is requesting to amend PD-46 to allow a Building Maintenance, Service, and Sales land use with outside storage.

M.6 Please review the attached draft ordinance prior to the January 28, 2025 Planning & Zoning Commission meeting, and provide staff with your markups by February 11, 2025.

I.7 Staff has identified the aforementioned items necessary to continue the submittal process. Please make these revisions and corrections, and provide any additional information that is requested. Revisions for this case will be due on February 4, 2025; however, it is encouraged for applicants to submit revisions as soon as possible to give staff ample time to review the case prior to the February 11, 2025 Planning and Zoning Commission Public Hearing Meeting. The Planning and Zoning Commission Work Session Meeting for this case will be held on January 28, 2025.

I.8 The projected City Council meeting dates for this case will be February 18, 2025 (1st Reading) and March 3, 2025 (2nd Reading).

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
ENGINEERING	Madelyn Price	01/23/2025	Approved w/ Comments

01/23/2025: General Comments:

General Items:

- Need to call out phases of redevelopment of the lot.
- Must meet City 2023 Standards of Design and Construction
- 4% Engineering Inspection Fees
- Impact Fees, if changing building use/square footage or water meters (Water, Sewer, Roadway).
- Minimum easement width is 20' for new easements. No structures including walls allowed in easements.
- Retaining walls 3' and over must be engineered.
- All retaining walls (18" or taller) must be rock or stone face. No smooth concrete walls.
- Required 10' utility easement along all street frontages.
- All utilities must be underground.
- The property must be platted.
- No structures or fences with easements.
- No signage is allowed within easements or ROW.
- Tree mitigation will be required when removing existing trees on the property.
- Need to show existing and proposed utilities on the Site Plan.
- Additional comments may be provided at time of Site Plan and Engineering Design.

Drainage Items:

- Detention is required for improved area. This is required for any and all phases of redevelopment that new impervious area, such as concrete, is installed.
- Existing flow patterns must be maintained. Drainage may not be increased towards any direction.
- Grate inlets are not allowed.
- Dumpster areas (if needed) to drain to oil/water separator and then to the storm lines.
- The property owner will be responsible for maintaining, repair, and replacement of the detention/drainage systems.

Water and Wastewater Items:

- Site plan must show existing/proposed utility lines (Water, Sewer, etc.)
- Any public water lines must be a minimum of 8", looped, and must be in a 20' wide easement. (Meet City of Rockwall Standards of Design and Construction)
- There is an existing 16" water main located on the other side of 276.
- There is no sewer immediately available for the site. Sewer will have to be obtained from either the sewer line along Springer or the sewer line two properties east along SH 276. All sewer will be in easements and not in TXDOT ROW.
- Any utility connection crossing SH276 roadway must be completed by dry bore and be steel encased. Opening cutting will not be allowed. TxDOT permit required.
- Only one "use" off a dead-end line (domestic, irrigation, fire sprinkler, fire hydrant, etc.)
- Min 20' utility easements.
- All public utilities must be centered in easement.
- Water to be 10' separated from storm and sewer lines.
- Sewer pro-rata \$979.14/acre to be paid upon connection to City sewer.

Paving Items:

- Must meet City driveway spacing requirements.
- All parking, storage, drive aisles, storage areas must be reinforced concrete. (No rock, gravel, or asphalt allowed).
- All Parking to be 20'x9' minimum. Parallel parking shall be minimum 22'x9'. Parking may not be off a public roadway. Vehicle must not be required to back onto a public roadway, including trash trucks. Minimum parking dimensions for angled parking is based on angle.
- No dead-end parking allowed without an City approved turnaround.

- Drive isles to be 24' wide.
- Fire lane (if needed) to be 24' wide and in a platted easement.
- Fire lane (if needed) to have 20' min radius if buildings are less than 30' tall. If any of the buildings are 30' or more, the fire lane will be 30' radius minimum.
- Any change in driveway will require TxDOT permit.

Landscaping:

- No trees to be with 10' of any public water, sewer or storm line that is 10" in diameter or larger.
- No trees to be with 5' of any public water, sewer, or storm line that is less than 10".

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
BUILDING	Craig Foshee	01/23/2025	Approved

No Comments

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
FIRE	Ariana Kistner	01/21/2025	Approved

No Comments

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
GIS	Lance Singleton	01/21/2025	Approved

No Comments

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
POLICE	Chris Cleveland	01/22/2025	Approved w/ Comments

No Comments

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
PARKS	Travis Sales	01/21/2025	Approved

No Comments

2305 State Hwy 276 Rockwall

Storage Space For:
Truck, Trailer, Mini X,
Skid Steer, Pipe rack,
Con X Box

Future Building

Truck Parking

Storage Locker

General Items:

- Need to call out phases of redevelopment of the lot.
- Must meet City 2023 Standards of Design and Construction
- 4% Engineering Inspection Fees
- Impact Fees, if changing building use/square footage or water meters (Water, Sewer, Roadway).
- Minimum easement width is 20' for new easements. No structures including walls allowed in easements.
- Retaining walls 3' and over must be engineered.
- All retaining walls (18" or taller) must be rock or stone face. No smooth concrete walls.
- Required 10' utility easement along all street frontages.
- All utilities must be underground.
- The property must be platted.
- No structures or fences with easements.
- No signage is allowed within easements or ROW.
- Tree mitigation will be required when removing existing trees on the property.
- Need to show existing and proposed utilities on the Site Plan.
- Additional comments may be provided at time of Site Plan and Engineering Design.

Drainage Items:

- Detention is required for improved area. This is required for any and all phases of redevelopment that new impervious area, such as concrete, is installed.
- Existing flow patterns must be maintained. Drainage may not be increased towards any direction.
- Grate inlets are not allowed.
- Dumpster areas (if needed) to drain to oil/water separator and then to the storm lines.
- The property owner will be responsible for maintaining, repair, and replacement of the detention/drainage systems.

Water and Wastewater Items:

- Site plan must show existing/proposed utility lines (Water, Sewer, etc.)
- Any public water lines must be a minimum of 8", looped, and must be in a 20' wide easement. (Meet City of Rockwall Standards of Design and Construction)
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- No trees to be with 5' of any public water, sewer, or storm line that is less than 10".

276

276

200 ft





DEVELOPMENT APPLICATION

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING & ZONING CASE NO. _____

NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING: _____

CITY ENGINEER: _____

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST [SELECT ONLY ONE BOX]:

PLATTING APPLICATION FEES:

- MASTER PLAT (\$100.00 + \$15.00 ACRE) ¹
- PRELIMINARY PLAT (\$200.00 + \$15.00 ACRE) ¹
- FINAL PLAT (\$300.00 + \$20.00 ACRE) ¹
- REPLAT (\$300.00 + \$20.00 ACRE) ¹
- AMENDING OR MINOR PLAT (\$150.00)
- PLAT REINSTATEMENT REQUEST (\$100.00)

SITE PLAN APPLICATION FEES:

- SITE PLAN (\$250.00 + \$20.00 ACRE) ¹
- AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING PLAN (\$100.00)

ZONING APPLICATION FEES:

- ZONING CHANGE (\$200.00 + \$15.00 ACRE) ¹
- SPECIFIC USE PERMIT (\$200.00 + \$15.00 ACRE) ^{1 & 2}
- PD DEVELOPMENT PLANS (\$200.00 + \$15.00 ACRE) ¹

OTHER APPLICATION FEES:

- TREE REMOVAL (\$75.00)
- VARIANCE REQUEST/SPECIAL EXCEPTIONS (\$100.00) ²

NOTES:

¹ IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE.
² A **\$1,000.00** FEE WILL BE ADDED TO THE APPLICATION FEE FOR ANY REQUEST THAT INVOLVES CONSTRUCTION WITHOUT OR NOT IN COMPLIANCE TO AN APPROVED BUILDING PERMIT.

PROPERTY INFORMATION [PLEASE PRINT]

ADDRESS 2305 State Highway 276 Rockwall, TX 75087

SUBDIVISION JA Ramsey Survey

LOT

2-8

BLOCK

186

GENERAL LOCATION 276 & 549/Corporate Xing

ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

CURRENT ZONING PD-46

CURRENT USE _____

PROPOSED ZONING PD-46

PROPOSED USE Commercial

ACREAGE 1

LOTS [CURRENT] _____

LOTS [PROPOSED] _____

SITE PLANS AND PLATS: BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB3167 THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.

OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

OWNER Connolly Squared LLC

APPLICANT GT Plumbing Services LLC

CONTACT PERSON Tim Connolly

CONTACT PERSON Trenton Austin

ADDRESS 3635 Garrison Ave

ADDRESS 709B West Rusk Ste 112

CITY, STATE & ZIP Port Saint Joe Florida 32456

CITY, STATE & ZIP Rockwall, TX 75087

PHONE 214-882-3982

PHONE 972-922-5267

E-MAIL tim@connollysquared.com

E-MAIL taustin@gtplumbingservices.com

NOTARY VERIFICATION [REQUIRED]

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED _____ [OWNER] THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING:

"I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION; ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT, AND THE APPLICATION FEE OF \$ _____ TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS THE _____ DAY OF _____, 20____. BY SIGNING THIS APPLICATION, I AGREE THAT THE CITY OF ROCKWALL (I.E. "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE AND COPY ANY INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR PUBLIC INFORMATION."

GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE 17 DAY OF January, 2025

OWNER'S SIGNATURE

[Handwritten Signature]

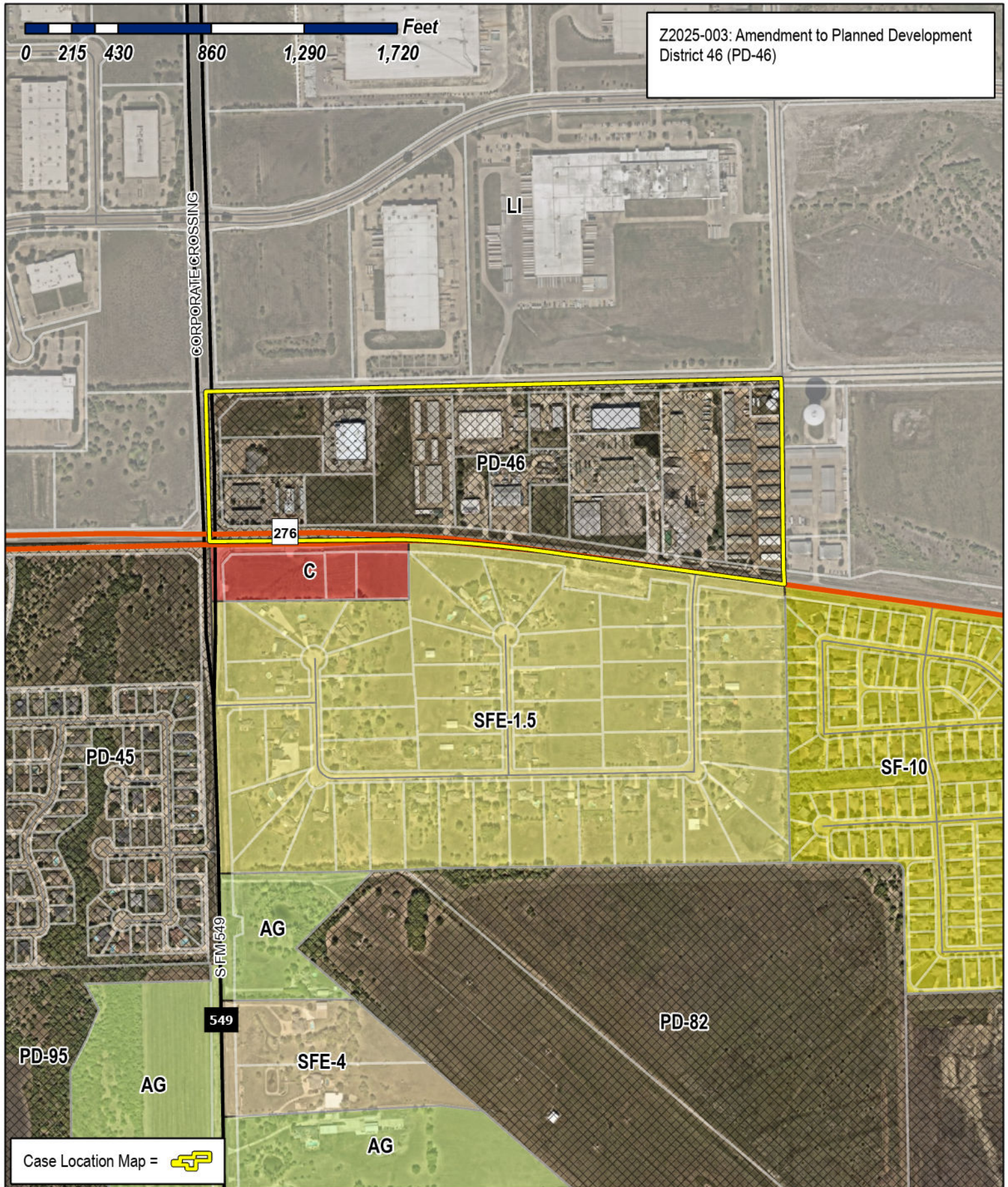
NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS

[Handwritten Signature]





Z2025-003: Amendment to Planned Development District 46 (PD-46)



Case Location Map =



City of Rockwall

Planning & Zoning Department
 385 S. Goliad Street
 Rockwall, Texas 75087
 (P): (972) 771-7745
 (W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.

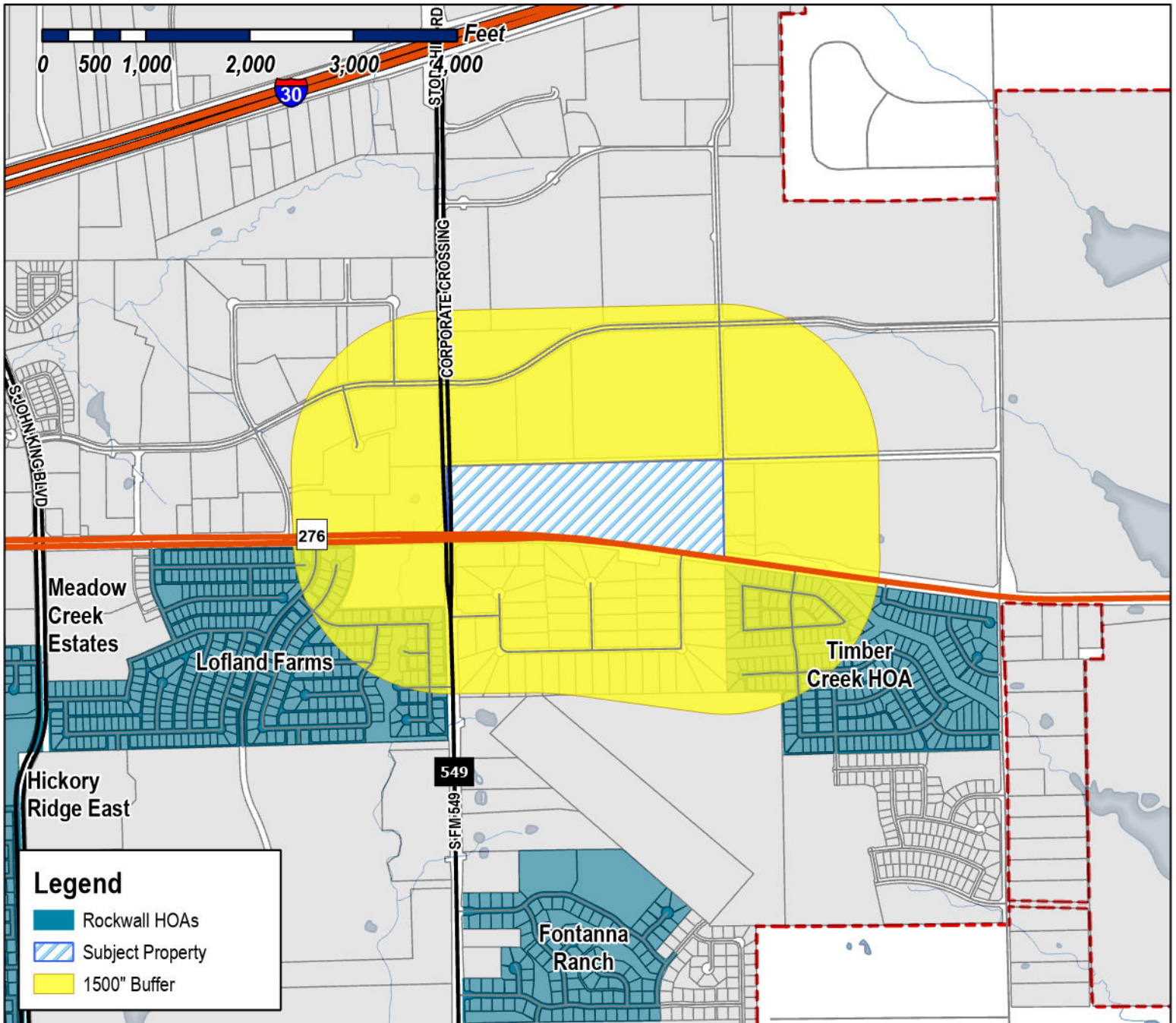




City of Rockwall

Planning & Zoning Department
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Case Number: Z2025-003
Case Name: Amendment to Planned Development District 46 (PD-46)
Case Type: Zoning
Zoning: Planned Development District 46 (PD-46)
Case Address: 2305 State Highway 276

Date Saved: 1/17/2025
 For Questions on this Case Call (972) 771-7745



Ross, Bethany

From: Zavala, Melanie
Sent: Wednesday, January 22, 2025 1:27 PM
Cc: Miller, Ryan; Lee, Henry; Ross, Bethany; Guevara, Angelica
Subject: Neighborhood Notification Program [Z2025-003]
Attachments: Public Notice (01.17.2025).pdf; HOA Map (01.21.2025).pdf

Follow Up Flag: Follow up
Flag Status: Completed

HOA/Neighborhood Association Representative:

Per your participation in the Neighborhood Notification Program, you are receiving this notice to inform your organization that a zoning case has been filed with the City of Rockwall that is located within 1,500-feet of the boundaries of your neighborhood. As the contact listed for your organization, you are encouraged to share this information with the residents of your subdivision. Please find the attached map detailing the property requesting to be rezoned in relation to your subdivision boundaries. Additionally, below is the summary of the zoning case that will be published in the Rockwall Herald Banner on Friday, January 24, 2025. The Planning and Zoning Commission will hold a public hearing on Tuesday, February 11, 2025 at 6:00 PM, and the City Council will hold a public hearing on Tuesday, February 18, 2025 at 6:00 PM. Both hearings will take place at 6:00 PM at City Hall, 385 S. Goliad, Rockwall, TX 75087.

All interested parties are encouraged to submit public comments via email to Planning@rockwall.com at least 30 minutes in advance of the meeting. Please include your name, address, and the case number your comments are referring to. These comments will be read into the record during each of the public hearings. Additional information on all current development cases can be found on the City's website: <https://sites.google.com/site/rockwallplanning/development/development-cases>.

Z2025-003: Amendment to Planned Development District 46 (PD-46)

Hold a public hearing to discuss and consider a request by Trenton Austin of GT Plumbing Services, LLC on behalf Tim Connolly of Connolly Squared, LLC for the approval of a Zoning Change to amend Planned Development District 46 (PD-46) [*Ordinance No. 21-32*] being a 47.37-acre tract of land situated within the J. A. Ramsey Survey, Abstract No. 186, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 46 (PD-46) for Commercial (C) District land uses, situated within the SH-276 Overlay (SH-276 OV) District, generally located at the northeast corner of Corporate Crossing and SH-276, and take any action necessary.

Thank you,

Melanie Zavala

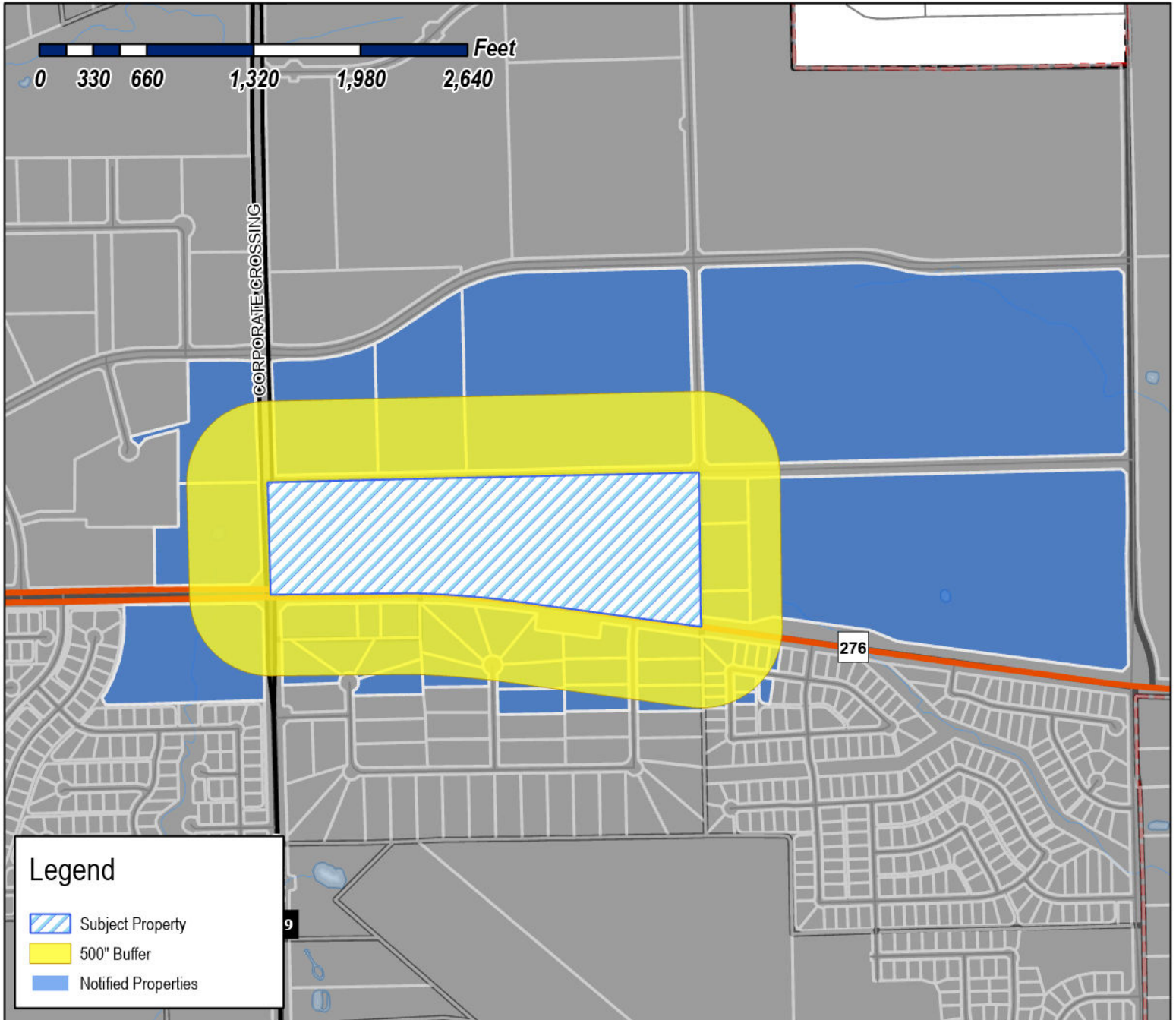
Planning & Zoning Coordinator | Planning Dept. | City of Rockwall
385 S. Goliad Street | Rockwall, TX 75087
[Planning & Zoning Rockwall](#)
972-771-7745 Ext. 6568



City of Rockwall

Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087
(P): (972) 771-7745
(W): www.rockwall.com

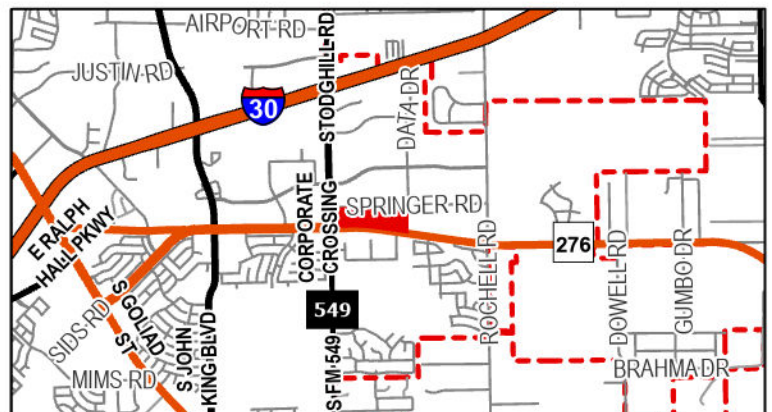
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Case Number: Z2025-003
Case Name: Amendment to Planned Development District 46 (PD-46)
Case Type: Zoning
Zoning: Planned Development District 46 (PD-46)
Case Address: 2305 State Highway 276

Date Saved: 1/17/2025

For Questions on this Case Call: (972) 771-7745



EXETER 2975 DISCOVERY, LP
100 W MATSONFORD RD STE 5-250
WAYNE, PA 19087

HUDACK STEVE V AND AILEEN J
1090 VINTAGE COURT
VACAVILLE, CA 95688

DFW DISTRIBUTOR,
PETROLEUM INC.
1111 N BELTLINE RD STE #100
GARLAND, TX 75040

DFW DISTRIBUTOR PETROLEUM INC
1111 N BELTLINE RD STE #100
GARLAND, TX 75040

RESIDENT
1275 CORPORATE CROSSING
ROCKWALL, TX 75032

ABLES NORRIS BRADLEY
1855 SILVER VIEW LN
ROCKWALL, TX 75032

RAMIREZ JUAN
1858 SILVER VIEW LN
ROCKWALL, TX 75032

JOHNSON DAVID A AND PHYLLIS D
1890 COPPER RIDGE CIR
ROCKWALL, TX 75032

DE RUSSE MARIA NICOLE AND REUBEN DANIEL
1895 COPPER RIDGE CIR
ROCKWALL, TX 75032

ARCHER RANDY G & YOWAREE
1900 COPPER RIDGE CIR
ROCKWALL, TX 75032

LITTLE CHRISTOPHER MATTHEW
1905 COPPER RIDGE CIR
ROCKWALL, TX 75032

MINOR MORRIS & NORA A
1908 STERLING CT
ROCKWALL, TX 75032

VANZANDT CINTHYA MARISOL
1910 COPPER RIDGE CR
ROCKWALL, TX 75032

BALLOUT 7 LLC
1910 OAK POINT DRIVE
ALLEN, TX 75013

SCOTT SUSAN
1910 SILVER VIEW LN
ROCKWALL, TX 75032

GARZA CESAR AND ANA MARIE
1913 STERLING CT
ROCKWALL, TX 75032

WILLESS WAYNE & PRISCILLA K
1915 COPPER RIDGE CIR
ROCKWALL, TX 75032

BRYANT DAWN
1915 SILVER VIEW LN
ROCKWALL, TX 75032

SANCHEZ JOSE L
1918 STERLING CT
ROCKWALL, TX 75032

MEJIA BLAS & LUISA
1921 STERLING CT
ROCKWALL, TX 75032

BARENOS CYNTHIA
1924 EVERGREEN DR
ROCKWALL, TX 75032

PRADO JESSE E & CYNTHIA G
1930 EVERGREEN DRIVE
ROCKWALL, TX 75032

REYNOLDS RENA
1930 SILVERVIEW LN
ROCKWALL, TX 75032

RESIDENT
1935 COPPER RIDGE CIR
ROCKWALL, TX 75032

DIAZ JORGE L & LINDA A
1935 COPPER RIDGE CIR
ROCKWALL, TX 75032

LOZANO OSCAR & DIANA
1935 EVERGREEN DR
ROCKWALL, TX 75032

QUINTON JAMES D
1935 SILVER VIEW LN
ROCKWALL, TX 75032

RESIDENT
1936 EVERGREEN DR
ROCKWALL, TX 75032

SCHMIESING ALBERT W & BERTHA N
1942 EVERGREEN DRIVE
ROCKWALL, TX 75032

WELCH KEITH F & DEBORAH A
1943 EVERGREEN DR
ROCKWALL, TX 75032

NBN COMMERCIAL GROUP LLC
2040 N BELT LINE RD STE 400
MESQUITE, TX 75150

RESIDENT
2205 HWY 276
ROCKWALL, TX 75032

RESIDENT
2210 STATE HWY 276
ROCKWALL, TX 75032

RESIDENT
2245 HWY276
ROCKWALL, TX 75032

RESIDENT
2301 HWY276
ROCKWALL, TX 75032

CONNOLLY SQUARED LLC
2305 STATE HIGHWAY 276
ROCKWALL, TX 75032

TOMMY'S MOBILE BOAT & MOTOR SERVICE, INC
2315 STATE HIGHWAY 276
ROCKWALL, TX 75032

VALENZUELA MOISES BENEDICTO AND MARIA
ANTONIETA
2445 DORRINGTON DR
DALLAS, TX 75228

VACPARTS WAREHOUSE COM LLC
2578 STATE HWY 276
ROCKWALL, TX 75032

RESIDENT
2582 HWY276 RD
ROCKWALL, TX 75032

RESIDENT
2640 HWY276
ROCKWALL, TX 75032

RESIDENT
2690 HWY276
ROCKWALL, TX 75032

SHARP RICK
2740 STATE HWY 276 SUITE 100
ROCKWALL, TX 75032

RESIDENT
2754 HWY276
ROCKWALL, TX 75032

RESIDENT
2975 DISCOVERY BLVD
ROCKWALL, TX 75032

5 SHARP REAL ESTATE LLC
3021 RIDGE RD #160
ROCKWALL, TX 75032

RESIDENT
3055 DISCOVERY BLVD
ROCKWALL, TX 75032

PRBS PROPERTIES LLC
3216 HUNTER LANE
PLANO, TX 75093

RESIDENT
3225 SPRINGER LN
ROCKWALL, TX 75032

XCELON DEVELOPEMENT LLC
3225 MCLEOD DR SUITE 100
LAS VEGAS, NV 89121

VILLALPANDO URIEL AND DIANNE
3414 BERMUDA DRIVE
ROWLETT, TX 75088

RESIDENT
3465 SPRINGER RD
ROCKWALL, TX 75032

RESIDENT
3475 SPRINGER RD
ROCKWALL, TX 75032

SKIPPER JOSEPH AND
STEPHANIE BREANNE SKIPPER
3484 HAWTHORNE TRAIL
ROCKWALL, TX 75032

RESIDENT
3490 HAWTHORNE TR
ROCKWALL, TX 75032

URBINA MARIPAZ
3496 HAWTHORNE TRL
ROCKWALL, TX 75032

CPIV-354 RANCH TRAIL LLC
354/356 RANCH TRL
ROCKWALL, TX 75032

RESIDENT
3602 HAWTHORNE TR
ROCKWALL, TX 75032

RESIDENT
3605 HAWTHORNE TR
ROCKWALL, TX 75032

RESIDENT
3608 HAWTHORNE TR
ROCKWALL, TX 75032

CITY OF ROCKWALL
385 S GOLIAD ST
ROCKWALL, TX 75087

DIXON TERRY STERLING III
515 MILLBROOK BLVD
SAN MARCOS, TX 78666

PRISM LEASING LTD
A TEXAS LIMITED PTNRSHIP
625 SUNSET HILL DR
ROCKWALL, TX 75087

KELLER JACQUELYN
8522 GARLAND RD
DALLAS, TX 75218

ZHANG WEIGANG & SONGYAN WU
854 LILY AVE
CUPERTINO, CA 95014

ALLEN FOODS INC
C/O RYAN LLC
AGENT FOR BIMBO BAKERIES USA 13155 NOEL
RD #100 LB73
DALLAS, TX 75240

AGREE LIMITED PARTNERSHIP
SUNBELT RENTALS, INC. STORE# 272
ATTN; PROPERTY TAX DEPT. 2341 DEERFIELD
DR.
FORT MILLS, SC 29715

BLACKLAND WATER CORP
ATTN ADA JO PHILLIPS
PO BOX 215
FATE, TX 75132

LATTIMORE MATERIALS COMPANY LP
PO BOX 2469
ADDISON, TX 75001

ALMO INVESTMENT II LTD
PO BOX 2599
WAXAHACHIE, TX 75168

MAK SPOT REAL ESTATE LLC
PO BOX 496585
GARLAND, TX 75049

LYNSTAR LLC
PO BOX 847
ROCKWALL, TX 75087

COLIN-G PROPERTIES INC
PO BOX 847
ROCKWALL, TX 75087

ROCKWALL ECONOMIC DEVELOPMENT
PO BOX 968
ROCKWALL, TX 75087

ROCKWALL ECONOMIC DEVELOPMENT
PO BOX 968
ROCKWALL, TX 75087

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PO BOX 968
ROCKWALL, TX 75087

PUBLIC NOTICE



CITY OF ROCKWALL
PLANNING AND ZONING DEPARTMENT
PHONE: (972) 771-7745
EMAIL: PLANNING@ROCKWALL.COM

Property Owner and/or Resident of the City of Rockwall:

You are hereby notified that the City of Rockwall Planning and Zoning Commission and City Council will consider the following application:

Z2025-003: Zoning Change to Amend Planned Development District 46 (PD-46)

Hold a public hearing to discuss and consider a request by Trenton Austin of GT Plumbing Services, LLC on behalf Tim Connolly of Connolly Squared, LLC for the approval of a Zoning Change to amend Planned Development District 46 (PD-46) [*Ordinance No. 21-32*] being a 47.37-acre tract of land situated within the J. A. Ramsey Survey, Abstract No. 186, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 46 (PD-46) for Commercial (C) District land uses, situated within the SH-276 Overlay (SH-276 OV) District, generally located at the northeast corner of Corporate Crossing and SH-276, and take any action necessary.

For the purpose of considering the effects of such a request, the Planning and Zoning Commission will hold a public hearing on Tuesday, February 11, 2025 at 6:00 PM, and the City Council will hold a public hearing on Tuesday, February 18, 2025 at 6:00 PM. These hearings will be held in the City Council Chambers at City Hall, 385 S. Goliad Street.

As an interested property owner, you are invited to attend these meetings. If you prefer to express your thoughts in writing please return the form to:

Bethany Ross
Rockwall Planning and Zoning Dept.
385 S. Goliad Street
Rockwall, TX 75087

You may also email your comments to the Planning Department at planning@rockwall.com. If you choose to email the Planning Department please include your name and address for identification purposes.

Your comments must be received by Tuesday, February 18, 2025 at 4:00 PM to ensure they are included in the information provided to the City Council.

Sincerely,

Ryan Miller, AICP
Director of Planning & Zoning



MORE INFORMATION ON THIS CASE CAN BE FOUND AT: <https://sites.google.com/site/rockwallplanning/development/development-cases>

--- PLEASE RETURN THE BELOW FORM ---

Case No. Z2025-003: Zoning Change to Amend Planned Development District 46 (PD-46)

Please place a check mark on the appropriate line below:

- I am in favor of the request for the reasons listed below.
- I am opposed to the request for the reasons listed below.

Four horizontal grey bars for providing reasons for support or opposition.

Name:
Address:

Tex. Loc. Gov. Code, Sec. 211.006 (d) If a proposed change to a regulation or boundary is protested in accordance with this subsection, the proposed change must receive, in order to take effect, the affirmative vote of at least three-fourths of all members of the governing body. The protest must be written and signed by the owners of at least 20 percent of either: (1) the area of the lots or land covered by the proposed change; or (2) the area of the lots or land immediately adjoining the area covered by the proposed change and extending 200 feet from that area.

PLEASE SEE LOCATION MAP OF SUBJECT PROPERTY ON THE BACK OF THIS NOTICE



Date: 1/17/2025

To Whom It May Concern:

I am writing to inform you that GT Plumbing Services LLC is in the process of purchasing the property located at 2305 State Hwy 276, Rockwall, TX 75087. We are seeking a variance from the current zoning PD-46 to allow us to store vehicles, materials, Conex boxes, track machinery, and trailers overnight on the property.

We believe that this variance would enable us to conform to the practices of neighboring properties and ensure the efficient operation of our business. We are committed to maintaining the aesthetic and functional standards of the area and will take all necessary measures to ensure that our activities do not negatively impact the community. We are long residents of the City of Rockwall, and our kids attend RISD schools.

Thank you for your time and attention to this matter.

Sincerely,

Trenton Austin
GT Plumbing Services LLC

2305 State Hwy 276 Rockwall

Legend

- Rockwall Marine
- Storage Locker

Storage Space For:
Truck, Trailer, Mini X,
Skid Steer, Pipe rack,
Con X Box

Future Building

1st Cooling

Rockwall Marine

Truck Parking

Storage Locker

276



CITY OF ROCKWALL

ORDINANCE NO. 21-32

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS AMENDING PLANNED DEVELOPMENT DISTRICT 46 (PD-46) [ORDINANCE NO. 99-05] AND THE UNIFIED DEVELOPMENT CODE [ORDINANCE NO. 20-02] OF THE CITY OF ROCKWALL, AS HERETOFORE AMENDED, FOR THE PURPOSE OF AMENDING PLANNED DEVELOPMENT DISTRICT 46 (PD-46), BEING A 47.37-ACRE TRACT OF LAND SITUATED WITHIN THE J. A. RAMSEY SURVEY, ABSTRACT NO. 186, CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS AND MORE FULLY DESCRIBED AND DEPICTED HEREIN BY *EXHIBIT 'A'* OF THIS ORDINANCE; PROVIDING FOR SPECIAL CONDITIONS; PROVIDING FOR A PENALTY OF A FINE NOT TO EXCEED THE SUM OF TWO THOUSAND DOLLARS (\$2,000.00) FOR EACH OFFENSE; PROVIDING FOR A SEVERABILITY CLAUSE; PROVIDING FOR A REPEALER CLAUSE; PROVIDING FOR AN EFFECTIVE DATE.

WHEREAS, the City has received a request from Greg Wallis of Mershawn Architects on behalf of Kris Sharp for the approval of an amendment Planned Development District 46 (PD-46) [*Ordinance No. 99-05*] for the purpose of allowing a *Warehouse* as a permitted land use on a 1.90-acre parcel of land identified as Lot 5, Block A, Sharp Addition being a portion of a larger 47.37-acre Planned Development District that is situated within the J. A. Ramsey Survey, Abstract No. 186, City of Rockwall, Rockwall County, Texas, identified as Planned Development District 46 (PD-46) [*Ordinance No. 99-05*], which is more fully described and depicted in *Exhibit 'A'* of this ordinance, and hereinafter shall be referred to as the *Subject Property* and incorporated by reference herein; and,

WHEREAS, the Planning and Zoning Commission of the City of Rockwall and the governing body of the City of Rockwall in compliance with the laws of the State of Texas and the ordinances of the City of Rockwall have given the requisite notices by publication and otherwise, and have held public hearings and afforded a full and fair hearing to all property owners generally and to all persons interested in and situated in the affected area, and in the vicinity thereof, and the governing body in the exercise of its legislative discretion, has concluded that Planned Development District 46 (PD-46) [*Ordinance No. 99-05*] and the Unified Development Code [*Ordinance No. 20-02*] should be amended as follows:

NOW, THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS:

SECTION 1. That the approval of this ordinance shall supersede all requirements stipulated in *Ordinance No 99-05*;

SECTION 2. That the *Subject Property* shall be used only in the manner and for the purposes authorized by this Planned Development District Ordinance and the Unified Development Code [*Ordinance No. 20-02*] of the City of Rockwall as heretofore amended, as amended herein by granting this zoning change, and as maybe amended in the future;

SECTION 3. That development of the *Subject Property* shall generally be in accordance with the *Concept Plan*, described in *Exhibit 'B'* of this ordinance, attached hereto and incorporated herein by reference as *Exhibit 'B'*, which is deemed hereby to be a condition of approval of the amended zoning classification for the *Subject Property*;

SECTION 4. That development of the *Subject Property* shall generally be in accordance with the *PD Development Standards*, described in *Exhibit 'C'* of this ordinance, attached hereto and incorporated herein by reference as *Exhibit 'C'*, which is deemed hereby to be a condition of approval of the amended zoning classification for the *Subject Property*;

SECTION 5. That the official zoning map of the City of Rockwall, Texas be corrected to reflect the change in zoning described here in.

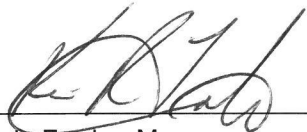
SECTION 6. That any person, firm, or corporation violating any of the provisions of this ordinance shall be deemed guilty of a misdemeanor and upon conviction shall be punished by a penalty of fine not to exceed the sum of two thousand dollars (\$2,000.00) for each offense and each and every day such offense shall continue shall be deemed to constitute a separate offense;

SECTION 7. That if any section, paragraph, or provision of this ordinance or the application of that section, paragraph, or provision to any person, firm, corporation or situation is for any reason judged invalid, the adjudication shall not affect any other section, paragraph, or provision of this ordinance or the application of any other section, paragraph or provision to any other person, firm, corporation or situation, nor shall adjudication affect any other section, paragraph, or provision of the Unified Development Code [*Ordinance No. 04-38*], and the City Council declares that it would have adopted the valid portions and applications of the ordinance without the invalid parts and to this end the provisions for this ordinance are declared to be severable;

SECTION 8. The standards in this ordinance shall control in the event of a conflict between this ordinance and any provision of the Unified Development Code [*Ordinance No. 04-38*] of any provision of the *City Code*, ordinance, resolution, rule, regulation, or procedure that provides a specific standard that is different from and inconsistent with this ordinance. References to zoning district regulations or other standards in the Unified Development Code [*Ordinance No. 04-38*] (*including references to the Unified Development Code*), and references to overlay districts, in this ordinance or any of the *Exhibits* hereto are those in effect on the date this ordinance was passed and approved by the City Council of the City of Rockwall, Texas;

SECTION 9. That this ordinance shall take effect immediately from and after its passage;

PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, THIS THE 2ND DAY OF AUGUST, 2021.



Kevin Fowler, Mayor

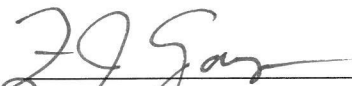
ATTEST:



Kristy Cole, City Secretary



APPROVED AS TO FORM:



Frank J. Garza, City Attorney

1st Reading: July 19, 2021

2nd Reading: August 2, 2021

EXHIBIT 'A':
Legal Description and Survey

BEING 47.37 acres of land situated in the Abstract 186, J.A. Ramsey Survey in the County of Rockwall, Texas and being more particularly described by metes and bounds as follows:

COMMENCING at a point in the south Right of Way of Discovery Blvd, at City Geodetic Control Monument #9. (NAD83 Texas State Plane GPS Coordinate: 2,607,463.893 E, 7,020,550.132 N feet) bearing South 73° 10' 43" East, a distance of 2,602.028 feet to the *POINT OF BEGINNING*;

BEGINNING at a point in the intersection of Springer Rd and Data Dr. (NAD83 Texas State Plane GPS Coordinate: 2,609,967.107 E, 7,019,844.125N feet);

THENCE South 00° 12' 17" West following the Eastern boundary line of Planned Development #46, a distance of 951.9 feet for a corner;

THENCE North 81° 8' 11" West, a distance of 1,019.177 feet to the beginning of a curve found in the centerline of State Highway 276, said being the beginning of a curve to the left having a tangent of 730.751 feet and a radius of 6,289.035 feet with a chord distance of 730.268 feet and a chord bearing of North 83 degrees 30 minutes 38 seconds West to a point;

THENCE North 89° 23' 42" West, a distance of 920.839 feet for a corner;

THENCE North 0° 20' 45" West, a distance of 693.685 feet for a corner;

THENCE North 89° 48' 28" East, a distance of 2,660.985 feet, to the *POINT OF BEGINNING AND CONTAINING* 47.37 acres of land (2,063,262.886 square feet) more or less.

EXHIBIT 'A':
Legal Description and Survey

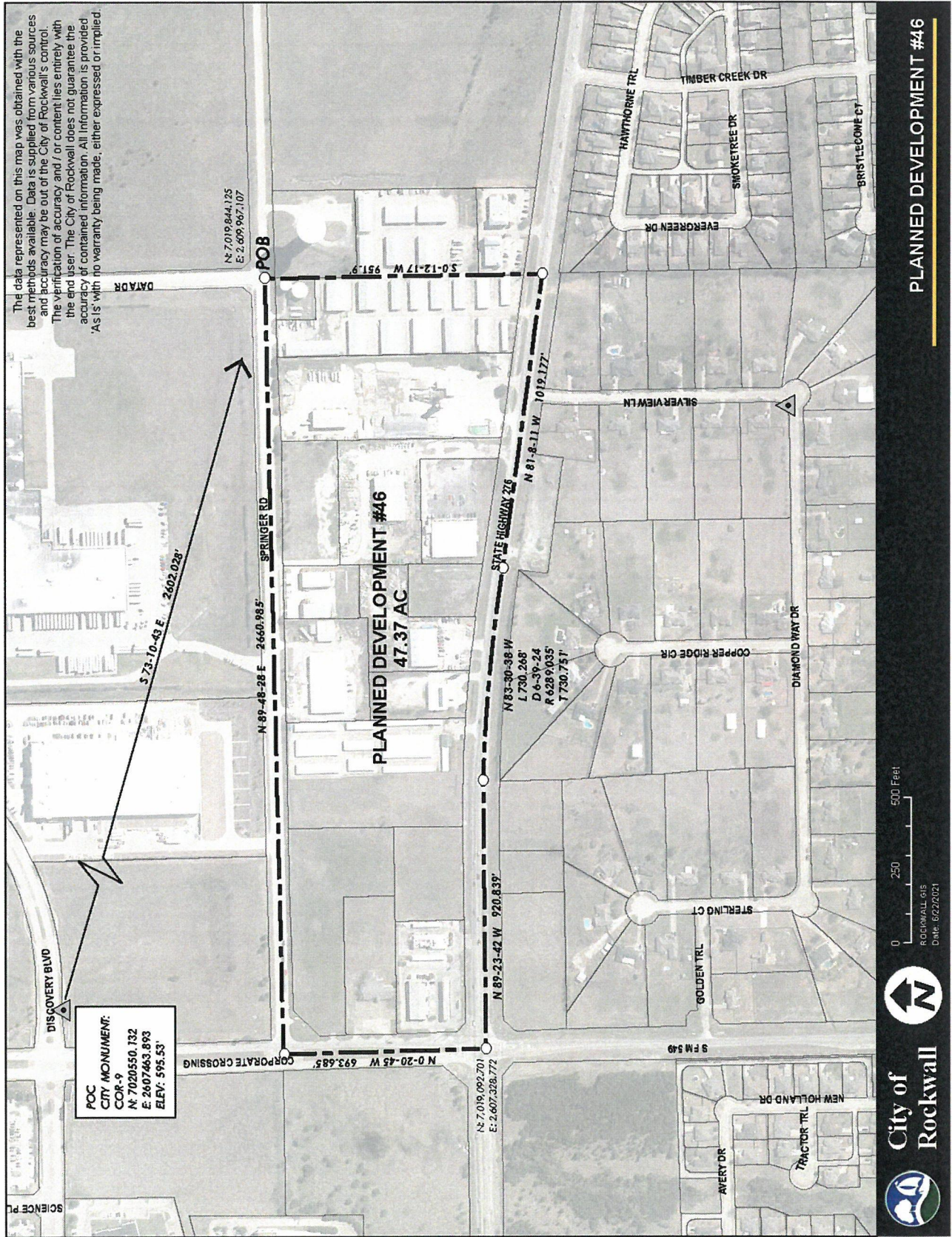


EXHIBIT 'B':
Concept Plan

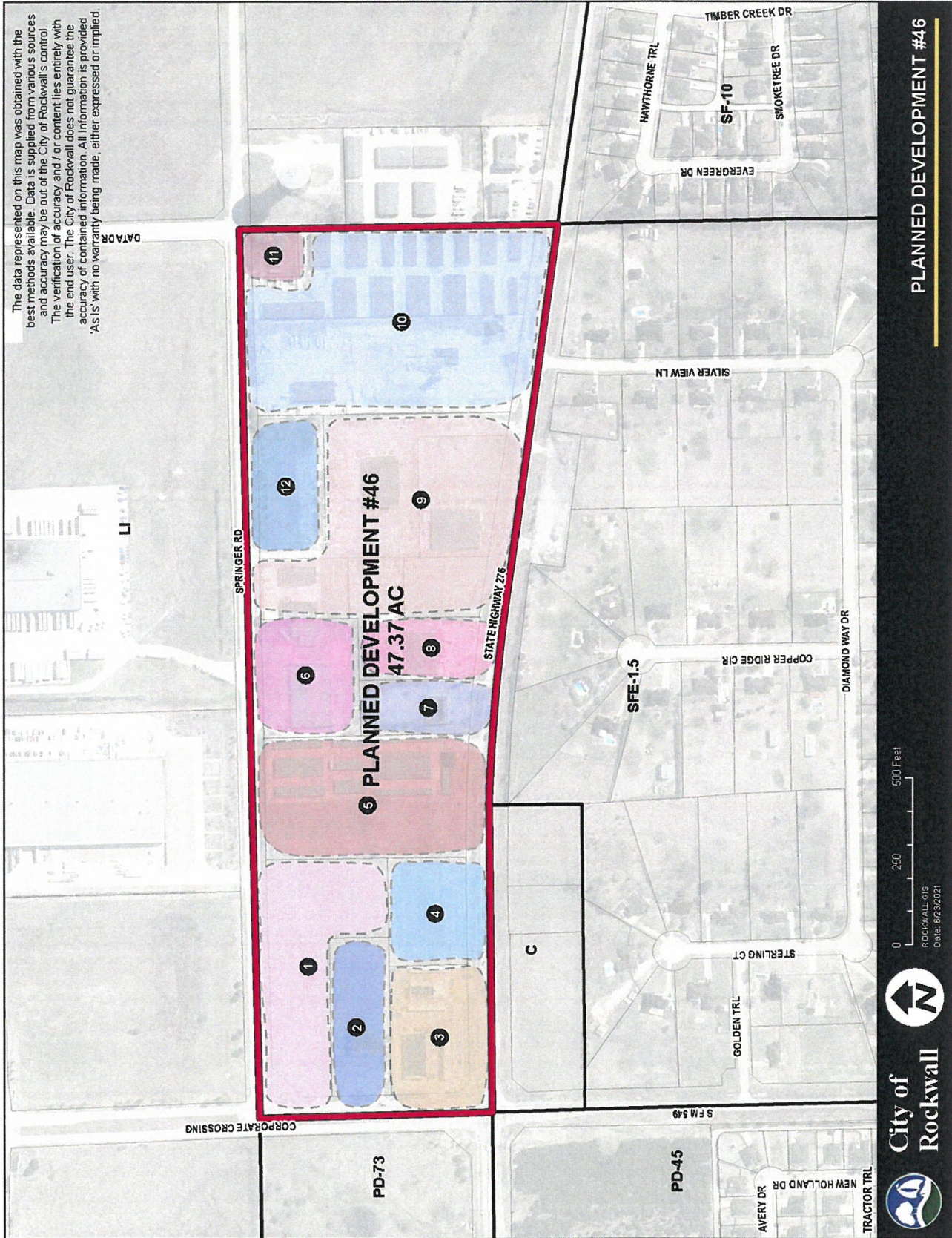


EXHIBIT 'C':
PD Development Standards

- (A) Purpose. The purpose of this amendment to Planned Development District 46 (PD-46) is to supersede *Ordinance No. 99-05*; however, this ordinance does not change the intent, restrictions, or land uses established in *Ordinance No. 99-05* with the exception of adding the *Warehouse* land use to *Tract 12* as depicted in *Exhibit 'B'* of this ordinance.
- (B) Permitted Land Uses. All properties within the boundaries of this Planned Development District as depicted in *Exhibit 'B'* of this ordinance shall be subject to the permitted land uses stipulated for properties in a Commercial (C) District as specified in Article 04, *Permissible Uses*, of the Unified Development Code (UDC) [*Ordinance No. 20-02*] of the City of Rockwall as heretofore amended, as amended herein by granting this zoning change, and as maybe amended in the future; however, the following land uses shall be permitted *by-right* on the corresponding tract:
- (1) Tract 3 [Tract 2, Lot 02].
 - Minor Automotive Repair Garage
 - (2) Tract 5 [Tract 2, Lot 06].
 - Mini-Warehouse
 - (3) Tract 6 [Tract 2, Lot 03].
 - Heavy Construction/Trade Yard
 - (4) Tract 7 [Tract 2, Lot 08].
 - Pawn Shop
 - (5) Tract 8 [Tract 2, Lot 07].
 - New or Used Boat Dealership
 - (6) Tract 9 [A Portion of Tract 2, Lot 00].
 - Trucking Company
 - (7) Tract 10 [Tract 2, Lot 13].
 - Concrete Batch Plant
 - Mini-Warehouse
 - (8) Tract 12 [A Portion of Tract 2, Lot 00].
 - Warehouse
- (C) Dimensional Requirements. All properties within the boundaries of this Planned Development District as depicted in *Exhibit 'B'* of this ordinance shall be subject to the dimensional requirements stipulated for properties in a Commercial (C) District as specified in Article 05, *District Development Standards*, of the Unified Development Code (UDC) [*Ordinance No. 20-02*] of the City of Rockwall as heretofore amended, as amended herein by granting this zoning change, and as maybe amended in the future.
- (D) Legal Non-Conforming Status. All properties within the boundaries of this Planned Development District as depicted in *Exhibit 'B'* of this ordinance shall be allowed to maintain the same exterior building materials that are currently utilized on the existing building for any new buildings that are built; however, if an existing or new building is expanded to an amount that equals 50% of the appraised tax value of that building, the building shall be required to adhere to the requirements of the Commercial (C) District

EXHIBIT 'C':
PD Development Standards

as stipulated in Article 05, *District Development Standards*, of the Unified Development Code (UDC) [Ordinance No. 20-02] of the City of Rockwall as heretofore amended, as amended herein by granting this zoning change, and as maybe amended in the future.

CITY OF ROCKWALL

ORDINANCE NO. 25-XX

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS AMENDING PLANNED DEVELOPMENT DISTRICT 46 (PD-46) [ORDINANCE NO. 21-32] AND THE UNIFIED DEVELOPMENT CODE [ORDINANCE NO. 20-02] OF THE CITY OF ROCKWALL, AS HERETOFORE AMENDED, FOR THE PURPOSE OF AMENDING PLANNED DEVELOPMENT DISTRICT 46 (PD-46), BEING A 47.37-ACRE TRACT OF LAND SITUATED WITHIN THE J. A. RAMSEY SURVEY, ABSTRACT NO. 186, CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS AND MORE FULLY DESCRIBED AND DEPICTED HEREIN BY EXHIBIT 'A' OF THIS ORDINANCE; PROVIDING FOR SPECIAL CONDITIONS; PROVIDING FOR A PENALTY OF A FINE NOT TO EXCEED THE SUM OF TWO THOUSAND DOLLARS (\$2,000.00) FOR EACH OFFENSE; PROVIDING FOR A SEVERABILITY CLAUSE; PROVIDING FOR A REPEALER CLAUSE; PROVIDING FOR AN EFFECTIVE DATE.

WHEREAS, the City has received a request from Trenton Austin of GT Plumbing Services, LLC on behalf of Tim Connolly of Connolly Squared, LLC for the approval of a Zoning Change to amend Planned Development District 46 (PD-46) [Ordinance No. 21-32] for the purpose of allowing *Building Maintenance, Sales, and Service with Outside Storage* as a permitted land use on a 1.00-acre parcel of land identified as Tract 2-8, Abstract No. 186, of the J. A. Ramsey Addition being a portion of a larger 47.37-acre Planned Development District that is situated within the J. A. Ramsey Survey, Abstract No. 186, City of Rockwall, Rockwall County, Texas, identified as Planned Development District 46 (PD-46) [Ordinance No. 99-05], which is more fully described and depicted in *Exhibit 'A'* of this ordinance, and hereinafter shall be referred to as the *Subject Property* and incorporated by reference herein; and,

WHEREAS, the Planning and Zoning Commission of the City of Rockwall and the governing body of the City of Rockwall in compliance with the laws of the State of Texas and the ordinances of the City of Rockwall have given the requisite notices by publication and otherwise, and have held public hearings and afforded a full and fair hearing to all property owners generally and to all persons interested in and situated in the affected area, and in the vicinity thereof, and the governing body in the exercise of its legislative discretion, has concluded that Planned Development District 46 (PD-46) [Ordinance No. 21-32] and the Unified Development Code [Ordinance No. 20-02] should be amended as follows:

NOW, THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS:

SECTION 1. That the approval of this ordinance shall supersede all requirements stipulated in *Ordinance No 21-32*;

SECTION 2. That the *Subject Property* shall be used only in the manner and for the purposes authorized by this Planned Development District Ordinance and the Unified Development Code [Ordinance No. 20-02] of the City of Rockwall as heretofore amended, as amended herein by granting this zoning change, and as may be amended in the future;

SECTION 3. That development of the *Subject Property* shall generally be in accordance with the *Concept Plan*, described in *Exhibit 'B'* of this ordinance, attached hereto and incorporated herein by reference as *Exhibit 'B'*, which is deemed hereby to be a condition of approval of the amended zoning classification for the *Subject Property*;

SECTION 4. That development of the *Subject Property* shall generally be in accordance with the *PD Development Standards*, described in *Exhibit 'C'* of this ordinance, attached hereto and incorporated herein by reference as *Exhibit 'C'*, which is deemed hereby to be a condition of approval of the amended zoning classification for the *Subject Property*;

SECTION 5. That the official zoning map of the City of Rockwall, Texas be corrected to reflect the change in zoning described here in.

SECTION 6. That any person, firm, or corporation violating any of the provisions of this ordinance shall be deemed guilty of a misdemeanor and upon conviction shall be punished by a penalty of fine not to exceed the sum of two thousand dollars (\$2,000.00) for each offense and each and every day such offense shall continue shall be deemed to constitute a separate offense;

SECTION 7. That if any section, paragraph, or provision of this ordinance or the application of that section, paragraph, or provision to any person, firm, corporation or situation is for any reason judged invalid, the adjudication shall not affect any other section, paragraph, or provision of this ordinance or the application of any other section, paragraph or provision to any other person, firm, corporation or situation, nor shall adjudication affect any other section, paragraph, or provision of the Unified Development Code [Ordinance No. 04-38], and the City Council declares that it would have adopted the valid portions and applications of the ordinance without the invalid parts and to this end the provisions for this ordinance are declared to be severable;

SECTION 8. The standards in this ordinance shall control in the event of a conflict between this ordinance and any provision of the Unified Development Code [Ordinance No. 04-38] of any provision of the City Code, ordinance, resolution, rule, regulation, or procedure that provides a specific standard that is different from and inconsistent with this ordinance. References to zoning district regulations or other standards in the Unified Development Code [Ordinance No. 04-38] (including references to the Unified Development Code), and references to overlay districts, in this ordinance or any of the Exhibits hereto are those in effect on the date this ordinance was passed and approved by the City Council of the City of Rockwall, Texas;

SECTION 9. That this ordinance shall take effect immediately from and after its passage;

PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, THIS THE 3RD DAY OF MARCH, 2025.

Trace Johannesen, Mayor

ATTEST:

Kristy Teague, City Secretary

APPROVED AS TO FORM:

Frank J. Garza, City Attorney

1st Reading: February 18, 2025

2nd Reading: March 3, 2025

EXHIBIT 'A':
Legal Description and Survey

BEING 47.37 acres of land situated in the Abstract 186, J.A. Ramsey Survey in the County of Rockwall, Texas and being more particularly described by metes and bounds as follows:

COMMENCING at a point in the south Right of Way of Discovery Blvd, at City Geodetic Control Monument #9. (NAD83 Texas State Plane GPS Coordinate: 2,607,463.893 E, 7,020,550.132 N feet) bearing South 73° 10' 43" East, a distance of 2,602.028 feet to the *POINT OF BEGINNING*;

BEGINNING at a point in the intersection of Springer Rd and Data Dr. (NAD83 Texas State Plane GPS Coordinate: 2,609,967.107 E, 7,019,844.125N feet);

THENCE South 00° 12' 17" West following the Eastern boundary line of Planned Development #46, a distance of 951.9 feet for a corner;

THENCE North 81° 8' 11" West, a distance of 1,019.177 feet to the beginning of a curve found in the centerline of State Highway 276, said being the beginning of a curve to the left having a tangent of 730.751 feet and a radius of 6,289.035 feet with a chord distance of 730.268 feet and a chord bearing of North 83 degrees 30 minutes 38 seconds West to a point;

THENCE North 89° 23' 42" West, a distance of 920.839 feet for a corner;

THENCE North 0° 20' 45" West, a distance of 693.685 feet for a corner;

THENCE North 89° 48 28" East, a distance of 2,660.985 feet, to the *POINT OF BEGINNING AND CONTAINING* 47.37 acres of land (2,063,262.886 square feet) more or less.

EXHIBIT 'A':
Legal Description and Survey



EXHIBIT 'B':
Concept Plan

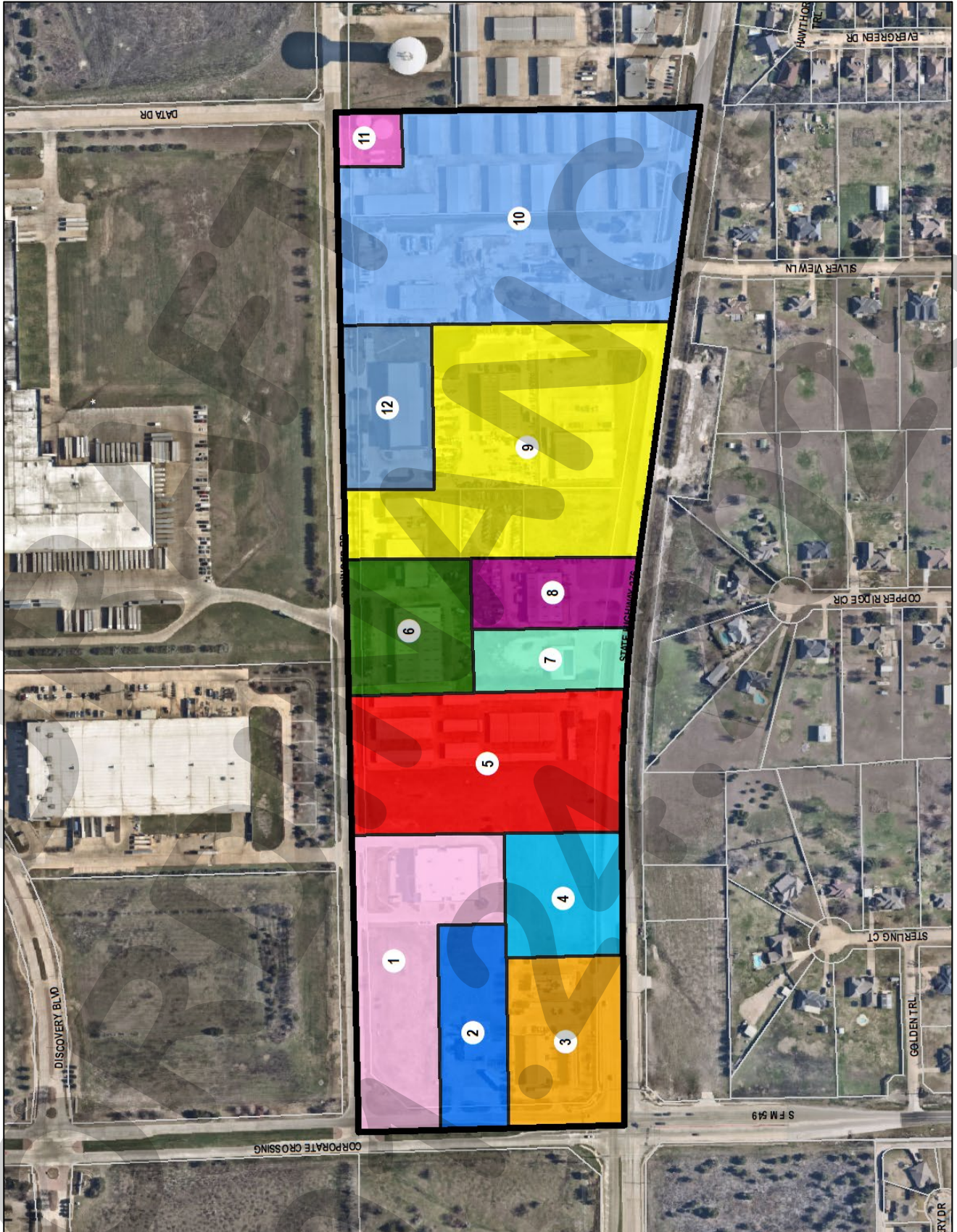


EXHIBIT 'C':
PD Development Standards

- (A) Purpose. The purpose of this amendment to Planned Development District 46 (PD-46) is to supersede *Ordinance No. 21-32*; however, this ordinance does not change the intent, restrictions, or land uses established in *Ordinance No. 21-32* with the exception of adding the *Building Maintenance, Service, and Sales with Outside Storage* land use to *Tract 7* as depicted in *Exhibit 'B'* of this ordinance.
- (B) Permitted Land Uses. All properties within the boundaries of this Planned Development District as depicted in *Exhibit 'B'* of this ordinance shall be subject to the permitted land uses stipulated for properties in a Commercial (C) District as specified in Article 04, *Permissible Uses*, of the Unified Development Code (UDC) [*Ordinance No. 20-02*] of the City of Rockwall as heretofore amended, as amended herein by granting this zoning change, and as maybe amended in the future; however, the following land uses shall be permitted *by-right* on the corresponding tract:
- (1) Tract 3 [Tract 2, Lot 02].
 - Minor Automotive Repair Garage
 - (2) Tract 5 [Tract 2, Lot 06].
 - Mini-Warehouse
 - (3) Tract 6 [Tract 2, Lot 03].
 - Heavy Construction/Trade Yard
 - (4) Tract 7 [Tract 2, Lot 08].
 - Pawn Shop
 - Building Maintenance, Service, and Sales with Outside Storage¹

NOTES

¹: The *Building Maintenance, Service, and Sales with Outside Storage* shall be subject to the following *Conditional Land Use Standards*:

- (1) All outside storage shall comply with the exhibit in *Figure 1* below.
- (2) Heavy Equipment (*i.e. Track Machinery*) shall be permitted to be store on gravel; however, the storage of trucks, trailers, Conex boxes, or any other outside storage shall be on a concrete surface.
- (3) All outside storage shall be situated behind the building and not be visible from SH-276.
- (4) The outside storage areas shall be reviewed for visibility by the Planning and Zoning Commission at the time of site plan. Additional landscape screening may be required by the Planning and Zoning Commission and/or staff at the time of site plan approval.
- (5) All unpermitted improvements shall be removed from the property prior to site plan approval.

FIGURE 1. CONCEPT PLAN FOR 2305 SH-276



RED: OUTSIDE STORAGE AREA; **BLUE:** STORAGE OF SERVICE TRUCKS; **GREEN:** FUTURE BUILDING EXPANSION

EXHIBIT 'C':
PD Development Standards

(5) Tract 8 [Tract 2, Lot 07].

- New or Used Boat Dealership

(6) Tract 9 [A Portion of Tract 2, Lot 00].

- Trucking Company

(7) Tract 10 [Tract 2, Lot 13].

- Concrete Batch Plant
- Mini-Warehouse

(8) Tract 12 [A Portion of Tract 2, Lot 00].

- Warehouse

(C) Dimensional Requirements. All properties within the boundaries of this Planned Development District as depicted in *Exhibit 'B'* of this ordinance shall be subject to the dimensional requirements stipulated for properties in a Commercial (C) District as specified in Article 05, *District Development Standards*, of the Unified Development Code (UDC) [*Ordinance No. 20-02*] of the City of Rockwall as heretofore amended, as amended herein by granting this zoning change, and as maybe amended in the future.

(D) Legal Non-Conforming Status. All properties within the boundaries of this Planned Development District as depicted in *Exhibit 'B'* of this ordinance shall be allowed to maintain the same exterior building materials that are currently utilized on the existing building for any new buildings that are built; however, if an existing or new building is expanded to an amount that equals 50% of the appraised tax value of that building, the building shall be required to adhere to the requirements of the Commercial (C) District as stipulated in Article 05, *District Development Standards*, of the Unified Development Code (UDC) [*Ordinance No. 20-02*] of the City of Rockwall as heretofore amended, as amended herein by granting this zoning change, and as maybe amended in the future.